

FINAL PLAT OF  
**MANHATTAN MEADOWS SUBDIVISION - PHASES 1 & 2**  
 A TRACT OF LAND BEING A PORTION OF TRACT 2 OF CERTIFICATE OF SURVEY No. 1495K,  
 LOCATED IN THE NORTHEAST ONE-QUARTER AND THE SOUTHEAST ONE-QUARTER OF SECTION 3, TOWNSHIP 1 NORTH, RANGE 3 EAST, PRINCIPAL MERIDIAN MONTANA,  
 TOWN OF MANHATTAN, GALLATIN COUNTY, MONTANA  
 OWNER: THE HOMESTEAD IN MANHATTAN, LLC  
 PURPOSE: TO CREATE A 45 LOT RESIDENTIAL SUBDIVISION

**CERTIFICATE OF DEDICATION**

We, the undersigned property owners, do hereby certify that we have caused to be surveyed, subdivided and platted into lots, blocks, streets, alleys, parks, and other divisions and dedications, as shown by the plat hereto annexed, the following described tract of land in the Town of Manhattan, to wit:

**LEGAL DESCRIPTION**

A Tract of land being a portion of Tract 2 of Certificate of Survey No. 1495K, located in the Northeast One-Quarter and the Southeast One-Quarter of Section 3, Township 1 North, Range 3 East, Principal Meridian Montana, Town of Manhattan, Gallatin County, Montana, and being more particularly described as follows:

Beginning at a point being the Center One-Quarter Corner of said Section 3;  
 thence North 01°28'34" West, a distance of 848.96 feet;  
 thence South 88°24'58" East, a distance of 279.39 feet;  
 thence South 00°44'22" West, a distance of 140.11 feet;  
 thence South 88°24'58" East, a distance of 127.01 feet;  
 thence South 00°44'22" West, a distance of 690.08 feet;  
 thence South 01°28'18" East, a distance of 1,279.82 feet;  
 thence South 88°24'58" East, a distance of 127.18 feet;  
 thence South 01°28'18" East, a distance of 61.68 feet;  
 thence North 88°24'58" West, a distance of 501.44 feet;  
 thence North 01°28'18" West, a distance of 1,323.82 feet to the Point of Beginning.

Said tract of land being 18.72 acres, along with and subject to any existing easements.

The above described tract of land is to be known and designated as Manhattan Meadows Subdivision Phases 1 & 2, Town of Manhattan, Gallatin County, Montana, and the land included in all streets, avenues, alleys and parks or public squares shown on said plat are hereby granted and donated to the use of the public forever.

**GRANT OF UTILITY EASEMENT**

The undersigned hereby grants unto each and every person, firm, or corporation that has a documented water right or agricultural water user facility as shown on this plat, an easement for the maintenance and repair of said agricultural water user facility in, over and across the area designated water user facility easement.

The undersigned hereby grants unto each and every person, firm, or corporation, whether public or private, providing or offering to provide telephone, telegraph, electric power, gas, television, water or sewer service to the public, the right to the joint use of an easement for the construction, maintenance, repair and removal of their lines and other facilities, in, over, under and across each area designated on this plat as "Utility Easement" to have and to hold forever.

**CERTIFICATE OF WAIVER**

We, the undersigned property owners of Manhattan Meadows Subdivision Phases 1 & 2 do hereby waive the right to protest creation of special improvement districts and/or local improvement districts. In so doing, we do not waive any right to protest and/or appeal assessment formula, which may be proposed if we believe it to be inequitable. This waiver shall be binding upon the heirs, assigns and purchasers of all tracts within this Subdivision. All lots within this subdivision are subject to waiver of right to protest special improvement districts executed with the annexation agreement for this property. Waivers include: paving, curb, gutter, sidewalk and storm drainage facilities for Nixon Gulch Road; signalization of the intersection of Broadway and Main Street; parks maintenance; street maintenance; lighting districts; and water and waste water system improvements.

**CERTIFICATE OF EXEMPTION**

The parcels Park 1, Park 2, Park 3, Park 4 and Park 5 are excluded from subdivision review per ARM 17.36.605(2)(a) which states:  
 (2) The reviewing authority may exclude the following parcels created by divisions of land from review under Title 76, chapter 4, part 1, MCA, unless the exclusion is used to evade the provisions of that part:  
 (a) "A parcel that has no existing facilities for water supply, wastewater disposal, and solid waste disposal, if no new facilities will be constructed on the parcel."

DATED this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

The Homestead in Manhattan, LLC  
 By: \_\_\_\_\_  
 Its: \_\_\_\_\_

State of \_\_\_\_\_ )  
 ) ss  
 County of \_\_\_\_\_ )

On this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, the undersigned, a Notary Public for the State of \_\_\_\_\_, personally appeared \_\_\_\_\_, known to me to be the \_\_\_\_\_ of The Homestead in Manhattan, LLC executed the within instrument, and acknowledged to me that such Corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Notarial Seal the day and year first above written.

Notary Public for the State of \_\_\_\_\_  
 \_\_\_\_\_  
 (Printed Name)  
 Residing at \_\_\_\_\_,  
 My commission expires \_\_\_\_\_

**CONSENT OF MORTGAGEES**

We, the undersigned mortgagees, do hereby join in and consent to the described plat, releasing our respective liens, claims or encumbrances as to any portion of said lands now being platted into streets, alleys, avenues, parks or other public uses and dedicated to the use of the public forever.

DATED this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Lending Institution  
 BY: \_\_\_\_\_

State of Montana )  
 ) ss  
 County of Gallatin )

On this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, the undersigned, a Notary Public for the State of Montana, personally appeared \_\_\_\_\_, known to me to be the \_\_\_\_\_ of the Corporation executed the within instrument, and acknowledged to me that such Corporation executed the same.  
 IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Notarial Seal the day and year first above written.

Notary Public for the State of Montana  
 \_\_\_\_\_  
 (Printed Name)  
 Residing at \_\_\_\_\_, Montana  
 My commission expires \_\_\_\_\_

**CERTIFICATE OF COMPLETION**

I, The Homestead In Manhattan, LLC., and I, \_\_\_\_\_ a registered professional engineer licensed to practice in the State of Montana, hereby certify that the public improvements, required as a condition of approval of Manhattan Orchards Subdivision Phases 1 & 2, have been installed in conformance with the approved engineering specifications and plans.

The Homestead In Manhattan, LLC \_\_\_\_\_ Date \_\_\_\_\_, 20\_\_\_\_.

Engineer \_\_\_\_\_ Date \_\_\_\_\_, 20\_\_\_\_.

**CERTIFICATE OF SURVEYOR**

I, the undersigned, Gregory L. Finck, Professional Land Surveyor, do hereby certify that the Manhattan Meadows Subdivision Phases 1 & 2, was surveyed under my direct supervision, and platted the same as shown on the accompanying plat and as described in accordance with the provisions of the Montana Subdivision and Platting Act, Sections 76-3-101 through 76-3-625, M.C.A., and the Gallatin County Subdivision Regulations.

DATED this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Gregory L. Finck  
 Montana Registration No. 13174LS

**CERTIFICATE OF MAYOR AND TOWN COUNCIL**

The Council of the Town of Manhattan, Montana, does hereby certify that it has examined this subdivision plat and, having found the same to conform to law, approves it, and hereby accepts the dedication to public use of any and all lands shown on this plat as being dedicated to such use.

DATED this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
 Town Clerk/Treasurer Mayor, Town of Manhattan

**CERTIFICATE OF COUNTY TREASURER**

I, \_\_\_\_\_ Treasurer of Gallatin County, Montana, do hereby certify that the accompanying plat has been duly examined and that all real property taxes and special assessments assessed and levied on the land to be subdivided are paid.

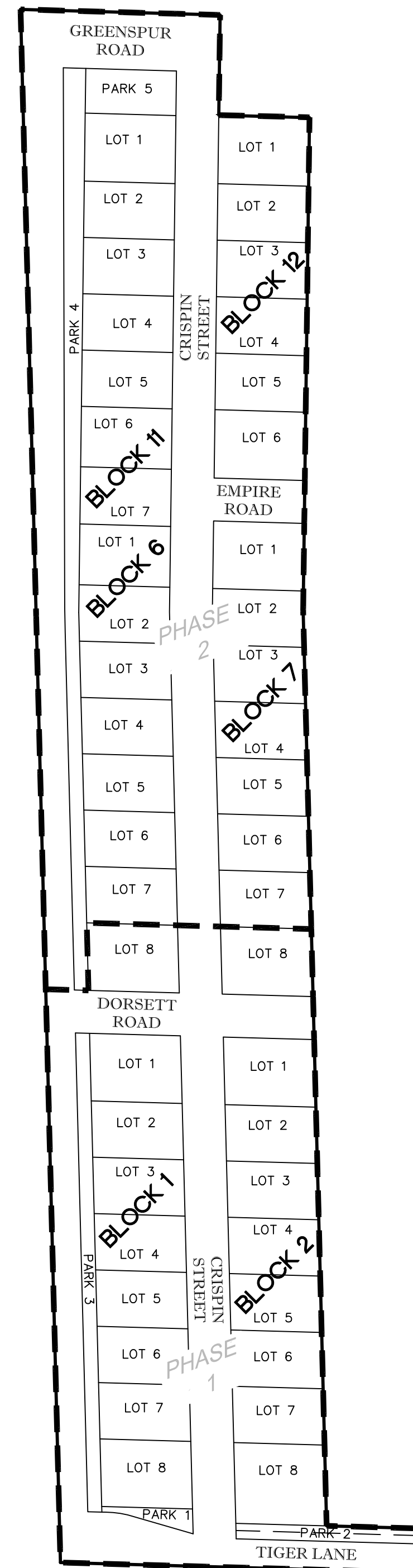
DATED this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
 Treasurer of Gallatin County

**CERTIFICATE OF CLERK AND RECORDER**

I, \_\_\_\_\_ Clerk and Recorder of Gallatin County, Montana, do hereby certify that the foregoing instrument was filed in my office at \_\_\_\_\_ o'clock (AM or PM) this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and recorded in Book \_\_\_\_\_, of Plats on Page \_\_\_\_\_, Records of the Clerk and Recorder, Gallatin County, Montana.

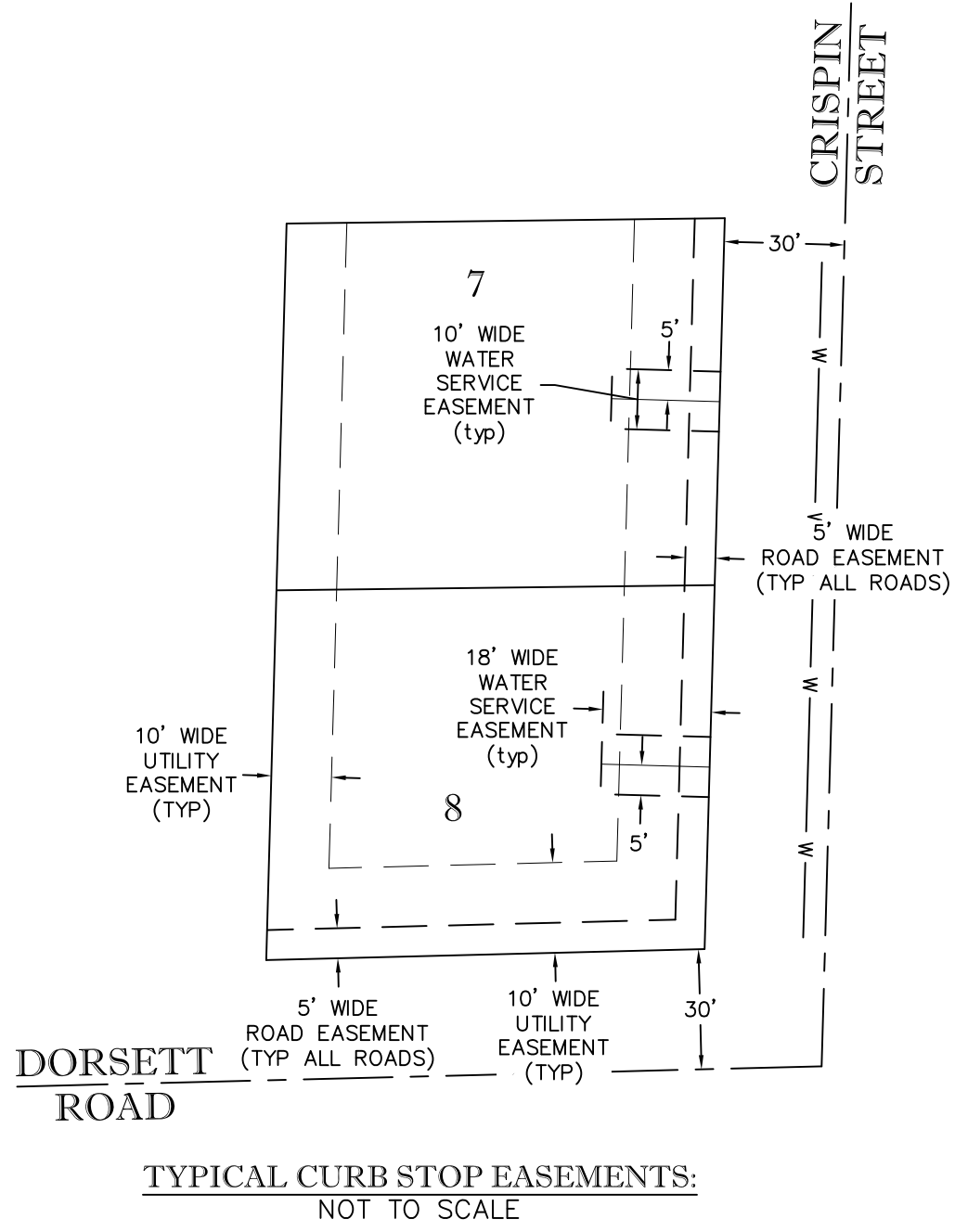
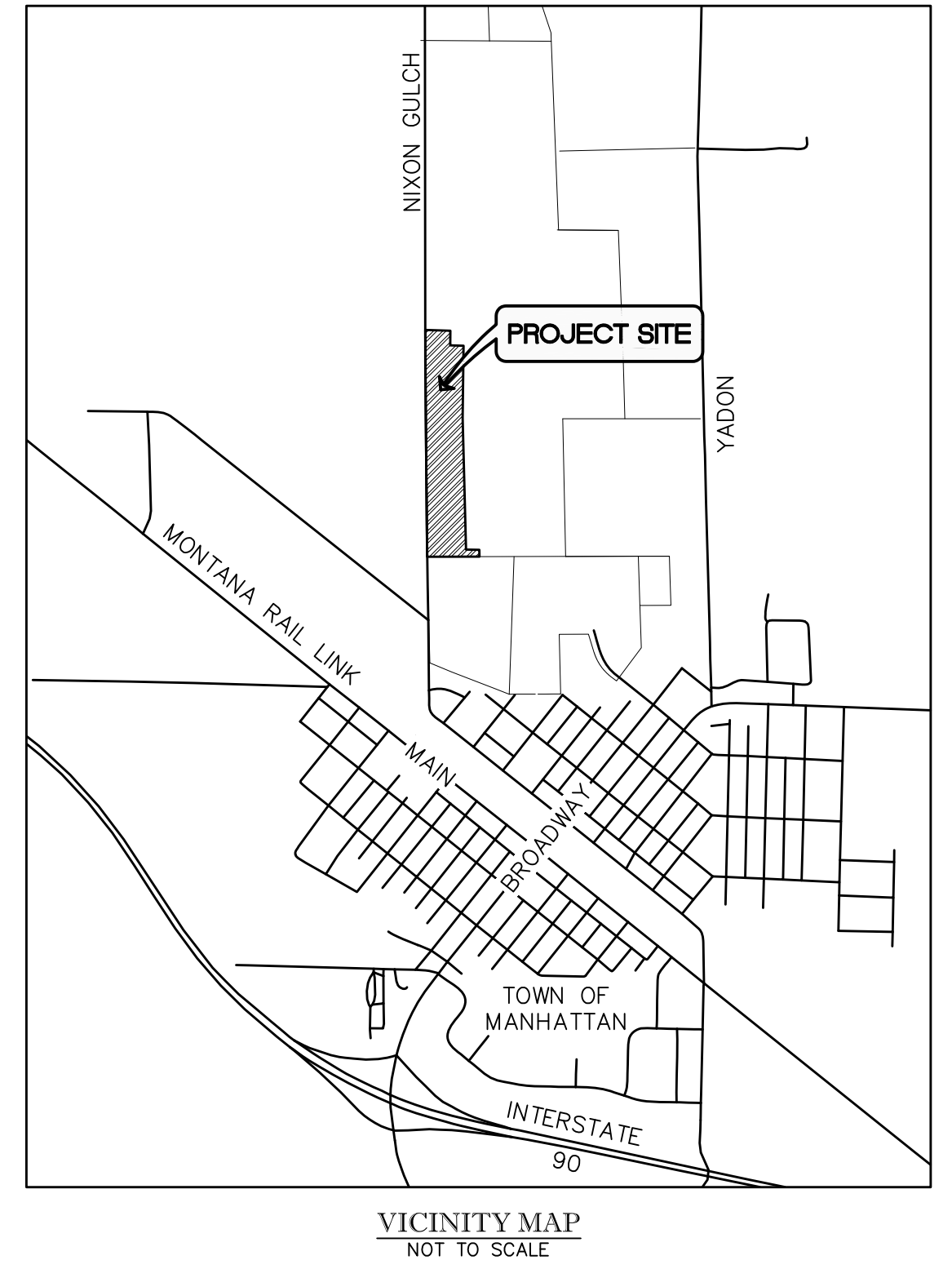
\_\_\_\_\_  
 Clerk and Recorder  
 Gallatin County



BLOCK MAP  
 SCALE: 1" = 150'

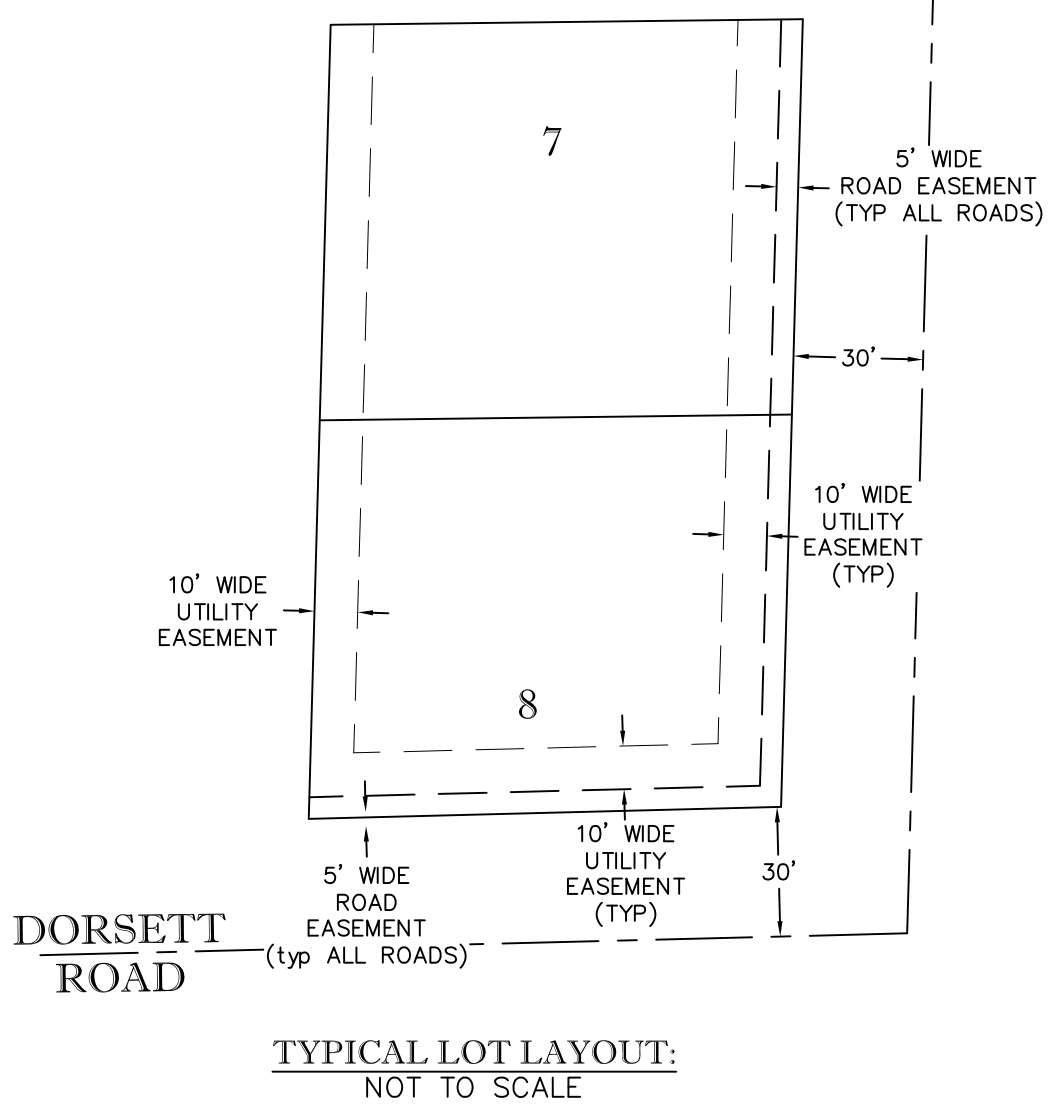
C:\Users\w\Designs\2014\14-186 Manhattan Orchards Subdivision\21\_C3D-Survey\Manhattan Orchards Final Plat Phases 1 & 2.dwg Apr. 24, 2023 - 10:37am

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MANHATTAN MEADOWS SUBDIVISION - PHASES 1 & 2**  
A TRACT OF LAND BEING A PORTION OF TRACT 2 OF CERTIFICATE OF SURVEY No. 1495K,  
LOCATED IN THE NORTHEAST ONE-QUARTER AND THE SOUTHEAST ONE-QUARTER OF SECTION 3, TOWNSHIP 1 NORTH, RANGE 3 EAST, PRINCIPAL MERIDIAN MONTANA,  
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OWNER: THE HOMESTEAD IN MANHATTAN, LLC  
PURPOSE: TO CREATE A 45 LOT RESIDENTIAL SUBDIVISION



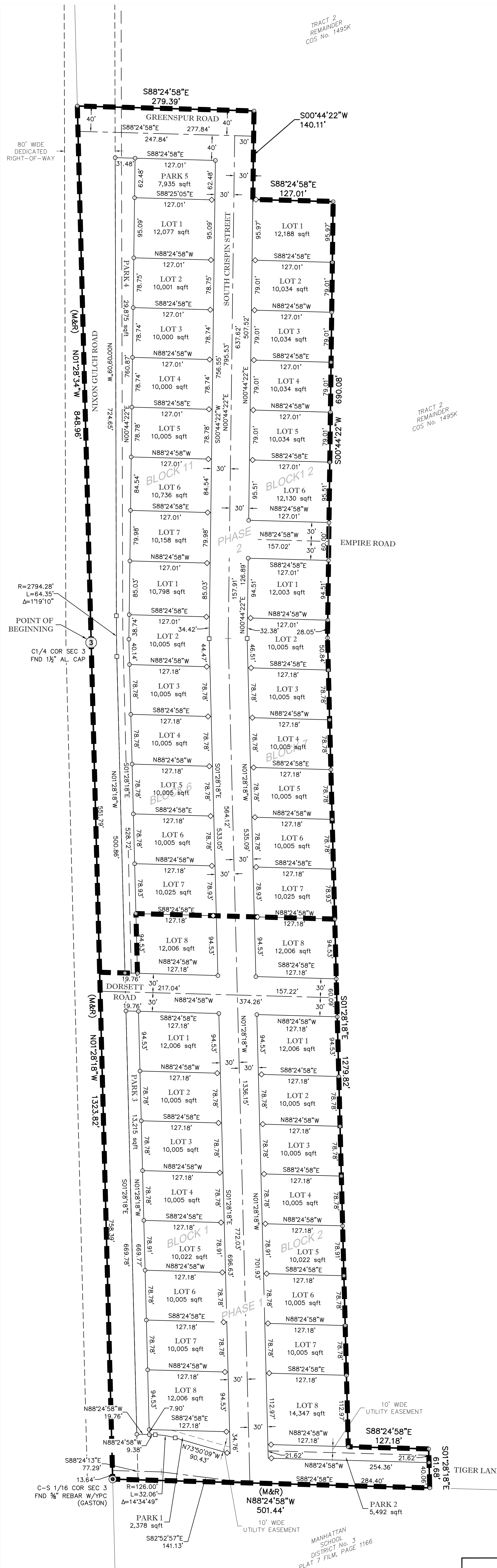
**ROAD WIDTH NOTE:**

ALL ROADS ARE 60' WIDE WITH AN ADDITIONAL 5' WIDE EASEMENT ON BOTH SIDES (TOTAL OF 70 FEET), EXCEPT GREENSPUR ROAD WHICH IS 80' WIDE WITH AN ADDITIONAL 5' WIDE EASEMENT ON BOTH SIDES (TOTAL OF 90 FEET).



**UTILITY NOTE:**

DRY UTILITIES TO BE LOCATED IN 10' UTILITY EASEMENTS.  
PUBLIC WATER AND SEWER MAINS TO BE CONSTRUCTED WITHIN PUBLIC RIGHT OF WAYS.



**LEGEND**

- PROPERTY LINE
- LOT LINE
- - - EASEMENT LINE
- - - ROAD CENTERLINE
- PHASE LINE
- FOUND MONUMENT AS NOTED
- SET 3/8" REBAR WITH 2" ALUMINUM CAP AS LOT CORNER
- ◇ SET 3/8" REBAR WITH 2" ALUMINUM CAP AS 5' WITNESS CORNER
- SET 3/8" REBAR WITH YPC AT PC'S AND PT'S
- ⊙ FOUND CENTER ONE-QUARTER CORNER AS NOTED
- ⊙ FOUND ONE-SIXTEENTH CORNER AS NOTED
- YPC YELLOW PLASTIC CAP
- (M) MEASURED
- (R) RECORDED

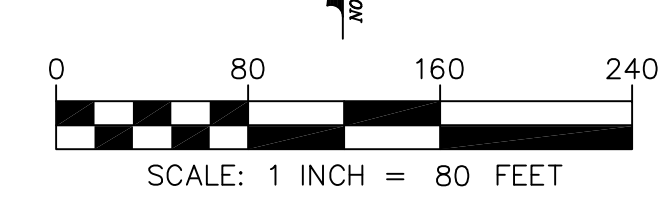
**MONUMENTATION NOTE:**  
A 3/8" REBAR W/ALUM. CAP WILL BE SET AT ALL LOT CORNERS AND ANGLE POINTS. A 3/8" REBAR W/YELLOW PLASTIC CAP WILL BE SET AT ROAD PC'S AND PT'S. DUE TO CONSTRUCTION ACTIVITIES, THE PLACEMENT OF MONUMENTS SHOWN AS SET ON THIS PLAT IS BEING DEFERRED UNTIL CONSTRUCTION IS COMPLETE.

**AREA TABLE:**

AREA OF LOTS	=	474,803 sqft
AREA OF PARKS	=	58,895 sqft
AREA OF ROW	=	281,710 sqft
TOTAL AREA	=	815,408 sqft

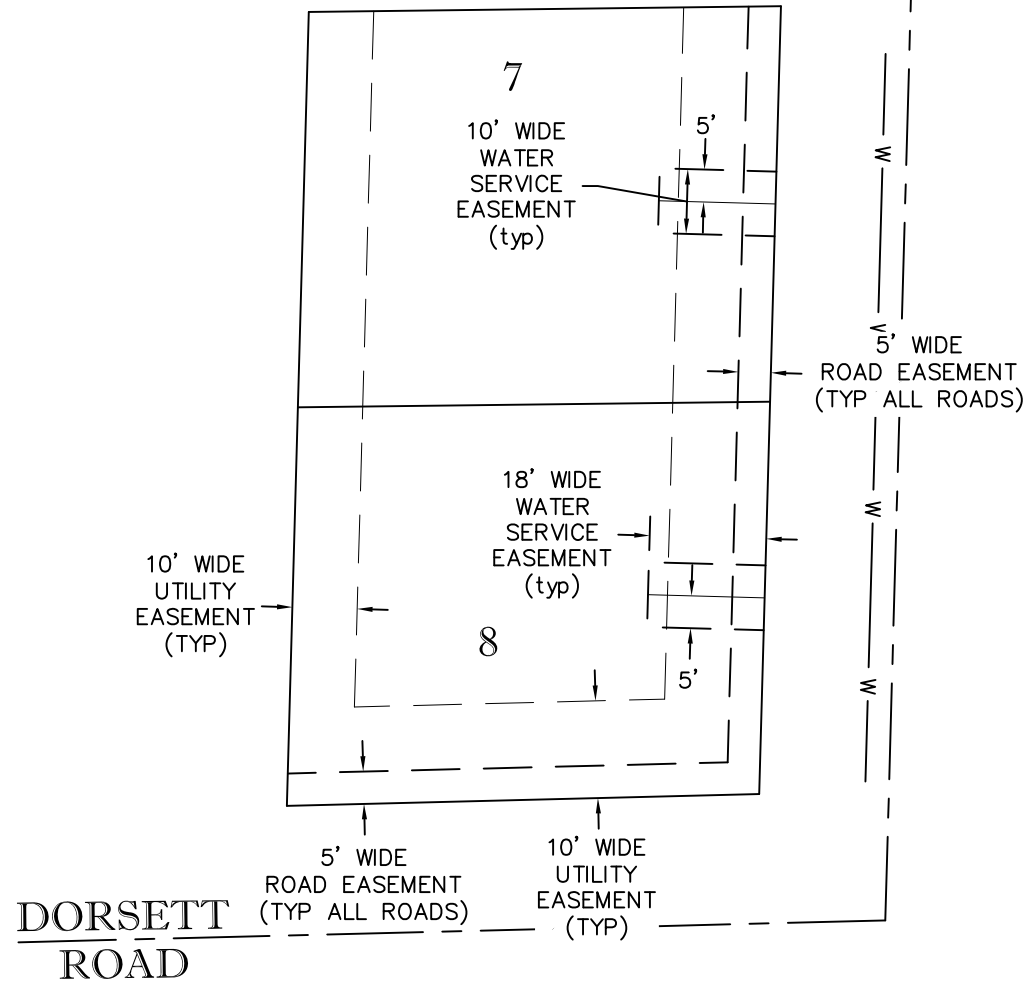
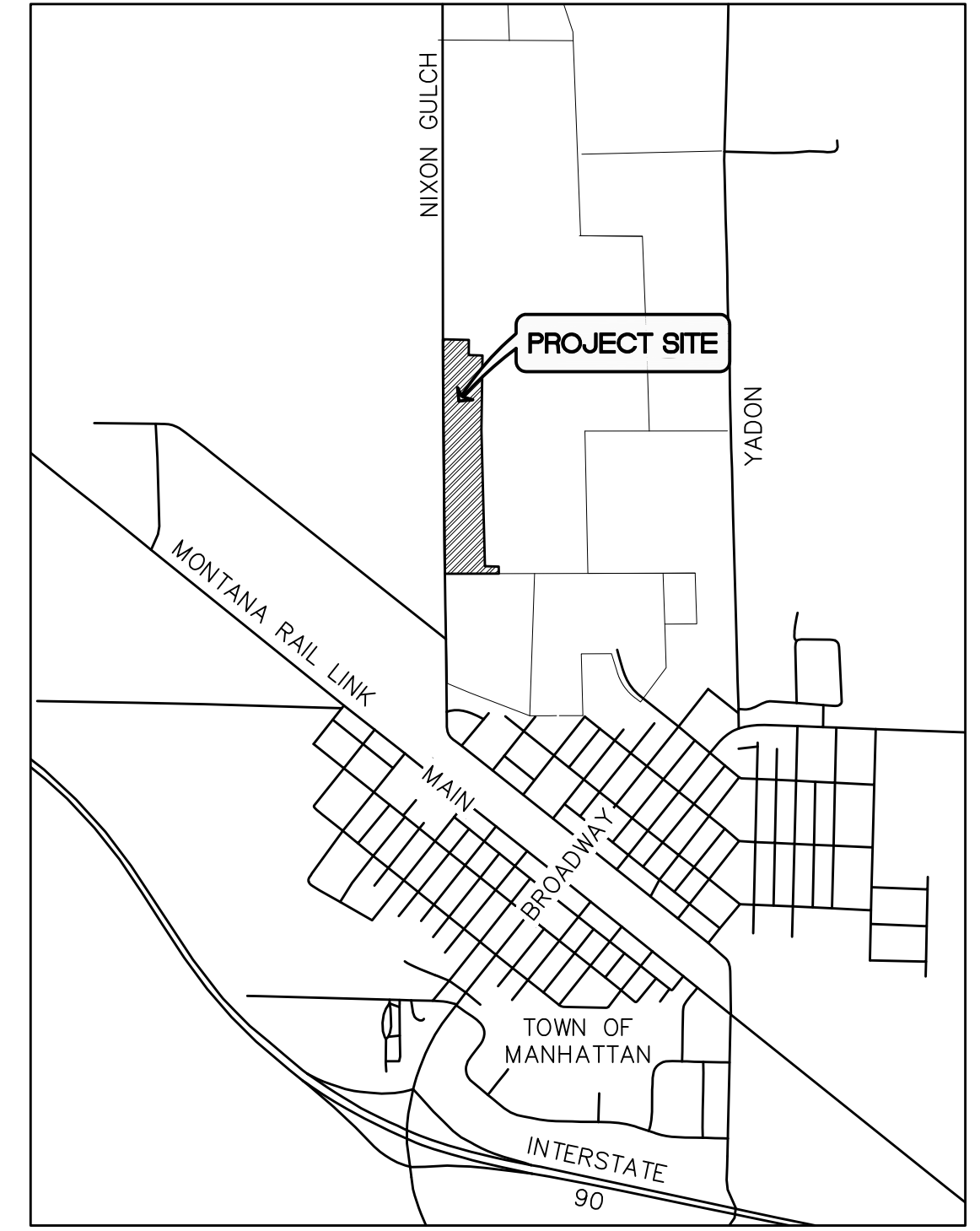
**LOT TABLE:**

12,000 sq.ft. LOTS	=	10 LOTS
10,000 sq.ft. LOTS	=	35 LOTS
TOTAL LOTS	=	45 LOTS



**BASIS OF BEARING:**  
BEARINGS ARE GEODETIC, DERIVED FROM GPS OBSERVATIONS WITH SURVEY GRADE RECEIVERS AND REFERENCED TO THE MERIDIAN AT WGS 84. NORTH LATITUDE 45°52'19" WEST LONGITUDE 111°21'38"

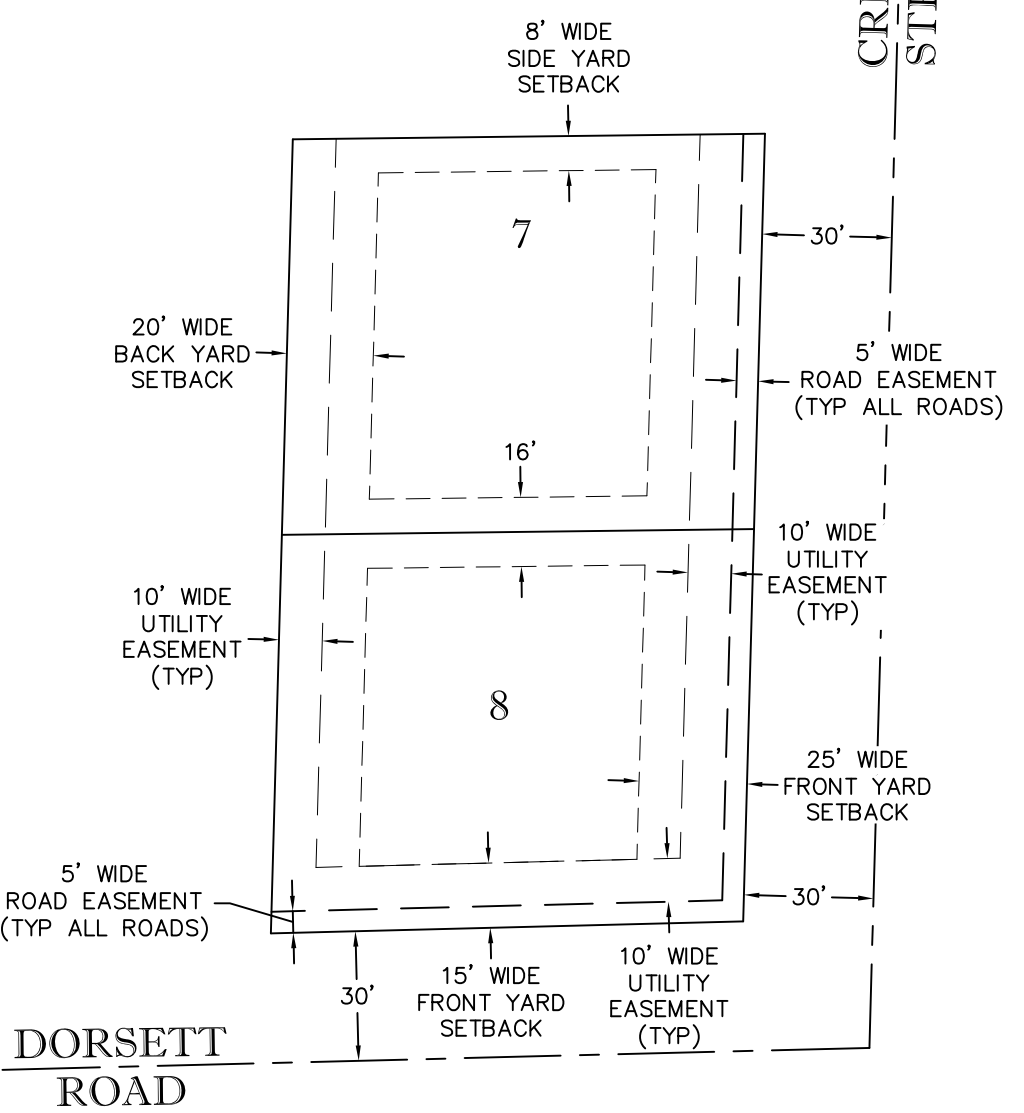
**CONDITIONS OF APPROVAL**  
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TYPICAL CURB STOP EASEMENTS:  
NOT TO SCALE

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TYPICAL LOT LAYOUT:  
NOT TO SCALE

**SETBACK REQUIREMENTS:**

FRONT YARD = 25'  
 REAR YARD = 20'  
 SIDE YARD = 8'

**SETBACK REQUIREMENTS CORNER LOT:**

FRONT YARD NARROW SIDE = 25'  
 FRONT YARD LONG SIDE = 15'  
 REAR YARD = 20'  
 SIDE YARD = 8'

**UTILITY NOTE:**

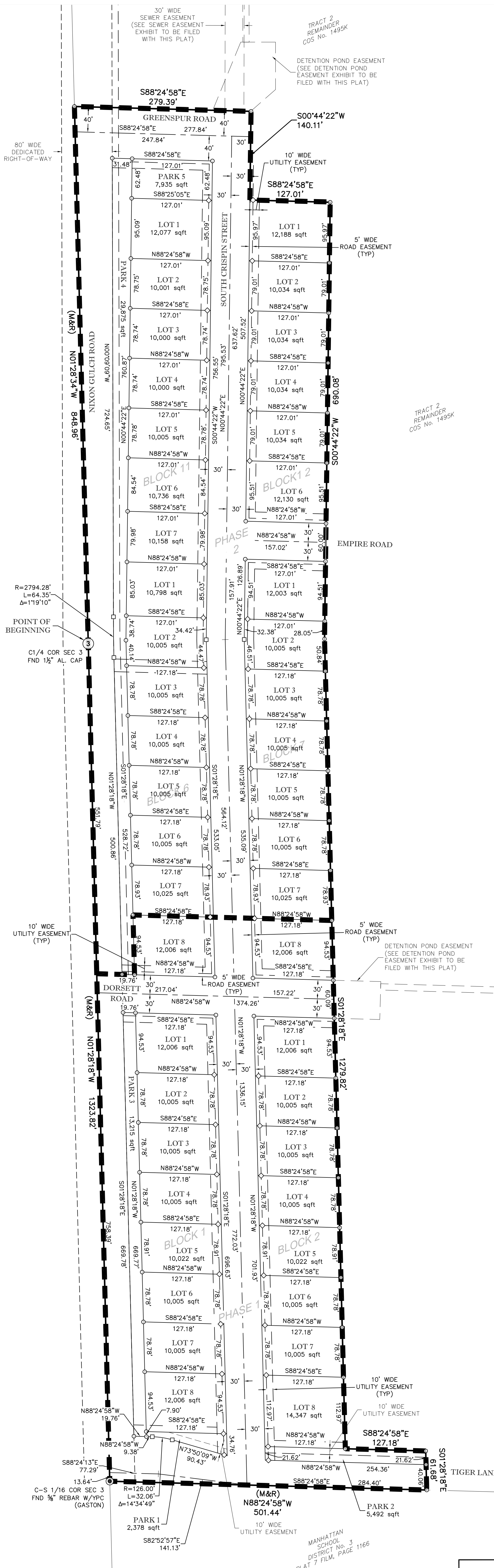
DRY UTILITIES TO BE LOCATED IN 10' UTILITY EASEMENTS.  
 PUBLIC WATER AND SEWER MAINS TO BE CONSTRUCTED WITHIN PUBLIC RIGHT OF WAYS.

PROPOSED SANITARY SEWER MAIN WILL BE 8".

PROPOSED WATER MAIN WILL BE 8".

THESE SIZES ARE SUBJECT TO A DETAILED ANALYSIS.

DEPTH OF SEWER MAINS WILL BE DETERMINED TO ALLOW GRAVITY FLOW TO PROPOSED SEWER PLANT SITE AND TO ALLOW CONNECTION TO ADJOINERS.



**LEGEND**

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- YPC YELLOW PLASTIC CAP
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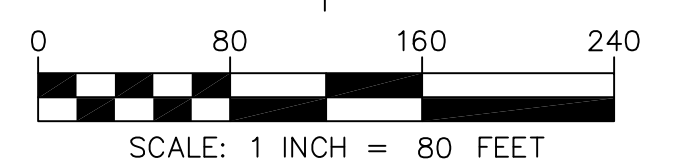
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32 DISCOVERY DRIVE  
 BOZEMAN, MT 59718  
 PHONE (406) 582-0221  
 FAX (406) 582-5770  
 www.alliedengineering.com

**Civil Engineering**  
**Geotechnical Engineering**  
**Land Surveying**



PROJECT SURVEYOR: GLF  
 DRAWN BY: KWO  
 REVIEWED BY: GLF  
 DATE: 04/24/23

**SHEET**  
**3 OF 3**  
 PROJECT No. 14-086  
 Manhattan Orchards  
 Phase 1 & 2

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