



Manhattan Meadows

A Traditional Neighborhood

Design Regulations and Guidelines

Manhattan Meadows - A Traditional Neighborhood
Manhattan, Montana

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Section 1: Architectural Control

Introductions, Purposes & Definitions

Introductions

These Building and Landscape Design Regulations and Guidelines for Manhattan Meadows are a component of the Declaration of Covenants, Conditions and Restrictions and Reservations of Easements for Manhattan Meadows which are implemented by the Manhattan Meadows Architectural Committee (“MMAC”) in association with the Declarant and the Manhattan Meadows Homeowners Owners Association, Inc. (Association).

Purposes

The purposes of the Building and Landscape Design Regulations and Guidelines is to describe the general nature and appearance of improvements made to Lots within the community, in order that the MMAC may review and approve or disapprove plans, specifications, designs, landscaping, sites and locations of improvements to be constructed or erected on any Lot within the property.

Words used in this document shall maintain their standard definition or as defined by the Town of Manhattan Zoning or as defined by the Covenants applicable to this development.

Architectural Control Process

Intent

The building and landscape design regulations and guidelines which follow are intended to complement the Manhattan Zoning Regulation which govern this community, and to clarify the intention for the design of buildings and landscaping for this project. Specifically, these guidelines set forth design criteria that address the building design and location, landscaping, lot density, and other improvements. The intent of these guidelines is to allow as much flexibility as possible while at the same time define a minimum level of quality and consistency of building design which will be consistent with and maximize the quality of the overall project. The unique design elements of the Developer, Building Contractor, Architect, Home Builder, and Owners for both the landscaping and the buildings will be respected, and individual expression is encouraged, provided they are harmonious with the overall plan of the Project.

The (MMAC), and or its assigns, shall review submitted materials and plans for compliance with the Design Regulations & Guidelines (DRG) for any proposed improvement or landscape development and approve or disapprove all plans based on the criteria set forth. No construction or alteration of any improvement or any work affecting the external appearance of any improvement shall be made, erected, altered, placed or permitted to remain upon the Lot until all required submittals are approved in writing by the MMAC and/or its assigns.

Standards for Review

It shall be the applicant's responsibility to insure that all proposed construction shall comply with the International Residential Code, National Plumbing Code and the National Electrical Code, the Design Regulations & Guidelines and all other applicable codes. The MMAC does not review submittals for compliance with any building or safety code and no approval from the MMAC should be considered a determination of that the lot owners' plans comply with these or any other building or safety codes. All plans must be harmonious with the overall plan for the development. All plans, materials and specifications must be suitable to the site, adjacent properties and the neighborhood. All improvements must be compatible with the surrounding properties so as to not impair or degrade property or aesthetic values.

Approval or Disapproval by MMAC

The MMAC shall have fifteen (15) business days to approve or disapprove the location, construction design, landscaping, and materials used for the home. This fifteen (15) day approval time period shall commence once all documents necessary for review as identified in the Design Review Checklist have been submitted. This fifteen (15) day approval time period shall apply to both Preliminary and Final Design Review. The MMAC may request additional plans, project specifications, color samples, or sample materials. The time for plan review shall be adjusted accordingly if plans are submitted during any holidays. Approval of plans shall require a majority of the MMAC. Upon approval the Owner is also required to secure a building permit from the Town of Manhattan, with the MMAC approval

letter as a prerequisite for Town review. Upon securing both the MMAC approval letter and building permit from the Town of Manhattan, the Owner may commence construction in accordance with the approved plans. Any deviation from the approved plans, which, in the sole judgment of the MMAC, constitutes a deviation of any substance from the approved plans, shall be promptly corrected at the sole expense of the Owner.

Disapproval by the MMAC during plan review will require that the applicant adhere to standards set forth in this document. All comments made by the MMAC are final and shall be incorporated into any proposed improvement or landscape development.

Inspection of Work

Upon the failure of the owner to complete the agreed upon work within the time allowed, or completion of any improvement, if the MMAC finds that such work was not done in strict compliance with all approved plans and specifications submitted for prior approval, it shall notify the Owner and the Directors of the Manhattan Meadows Homeowners Association of such noncompliance, and shall require the Owner to remedy the same. If, upon the expiration of seven (7) days from the date of such notification, the Owner has failed to commence or communicate an approved upon time frame to remedy such noncompliance, the MMAC shall determine the nature and extent of noncompliance thereof and the estimated cost of correction. The MMAC shall notify the Owner and Directors in writing of the estimated cost of correction or removal. The Owner shall then have five (5) days to commence such remedy. If the Owner still does not comply with the Directors' notice within such five (5) day period, the MMAC, at their option, may remove the noncomplying design element or remedy the noncompliance, and the Owner shall reimburse the Association upon demand for all expenses incurred in connection therewith, including legal fees, as well as lose any conformance deposit held in escrow. If such expenses are not promptly repaid by the Owner to the Association, the Directors may file a lien against the owner's property for the unpaid expenses and may foreclose upon the lien as provided in the Declarations for assessment liens, along with any other remedy as allowed by law. It shall not be necessary for the Association to send to the owner a notice of right to claim a lien for any work performed by the Association to correct any noncompliance on the part of the owner.

Conformance Deposit

The MMAC requires lot owners or their representatives to submit a Sidewalk, Landscape and Construction Conformance deposit to be included with the purchase contract to ensure conformance to these Design Regulations & Guidelines and CC&R's. Deposits will be returned, without interest, after a final compliance inspection has been completed and approved by the MMAC. If, at any time throughout construction, it is found that the design has been altered and is found to be non-conforming, this deposit will become the property of the MMAC and may be used in any way necessary to enforce compliance.

Design Submittal Inclusions

A review fee will be required at the time of submission of all the design submittal documents and materials. The purpose of the design review fee shall be to defray the MMAC's cost of review of all proposed site plans and specifications submitted to them. The fee shall be evaluated and set by the Board from time-to-time. The Pre-Application fee shall initially be \$300.00. The Final Design Review Application shall initially be \$800.00. The committee will not commence upon a review of any kind without being in receipt of all items identified in the pre-review and final review checklist (See Appendix A).

We recommend you submit plans, elevations, and color renderings for preliminary review. These preliminary reviews can expedite the review process by identifying potential conflicts with the Design Regulations and Guidelines as well as identifying potential solutions. This typically results in a cost savings by identifying conflicts prior to finalization of your construction drawings. If your project will require any variances or deviations to these Design Regulations and Guidelines, a preliminary review is required.

Start of Construction

There shall be no construction work initiated without a building permit issued by the Town of Manhattan and without written approval of the plans by the MMAC upon approval by the MMAC, all approved plans are then to be submitted to the Town for approval. All building construction and landscaping must conform to both the final approved plans by both the Town of Manhattan and the MMAC. Notice must be given to HOA 30 days prior to the start of construction for 'well' coordination.

Variances and Deviations

All variances from these Design Regulations and Guidelines will require a \$350.00 fee per individual variance. A variance is defined as any element within the design submittal that does not comply with these Design Guidelines. Variances and deviations shall be brought to the attention of the MMAC at the time of Pre-Application Submittal. All variances and deviations will require written approval from the MMAC prior to construction.

Completion

Once started, all work on any improvement upon any Lot must be maintained on a continuous and diligent basis until completion, which shall not exceed 18 months, unless otherwise approved in writing from the MMAC.

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Section 2: Principles of Design

Following are basic Principles of Design which serve as the basis of design at Manhattan Meadows. These principles are the required building blocks to maintain the quality of design expected at Manhattan Meadows. Each project will be evaluated based on these Principles by the MMAC. This evaluation will serve as the litmus test for the acceptability of the presented designs.

Site Evaluation and Design

The beginning of each design shall begin with site evaluation. This evaluation encompasses solar orientation, wind/weather patterns, relationships to prominent views, relationships to neighboring views, and engagement of the street edge. Consideration should be given to drainage patterns of the site, assuring that water is not ushered onto adjacent properties. Designs shall consider interaction with neighboring properties such that excessive shading caused by structures does not fall onto adjacent properties. Landscape Design considerations will be a critical component to a successful Site Design.

Scale

Designs elements should be of a variety of scale, create a diverse and interesting composition. Larger volumes should be broken down into smaller elements, addressing the pedestrian scale. Homes should be scaled to fit their associated property, as well as the personality of the design concept or style.





Rhythm

Architectural design elements of the same scale which are repeated on a regular basis create rhythm and should be employed when appropriate. Windows, structural supports, color, exterior light fixtures, and building massing all have the potential to contribute to successful rhythm and ultimately design.

Proportion

Proportion is the relationship of a part to the whole. Proper proportion results in balance, where one element does not unnecessarily dominate another element. Elements such as windows and doors should be proportionate to the walls in which they reside. Additionally, rooms should be proportionate to the functions which they serve (a bathroom should not be the same size as a great room). The end result of properly proportioned building elements is that of harmony and balance.



Balance

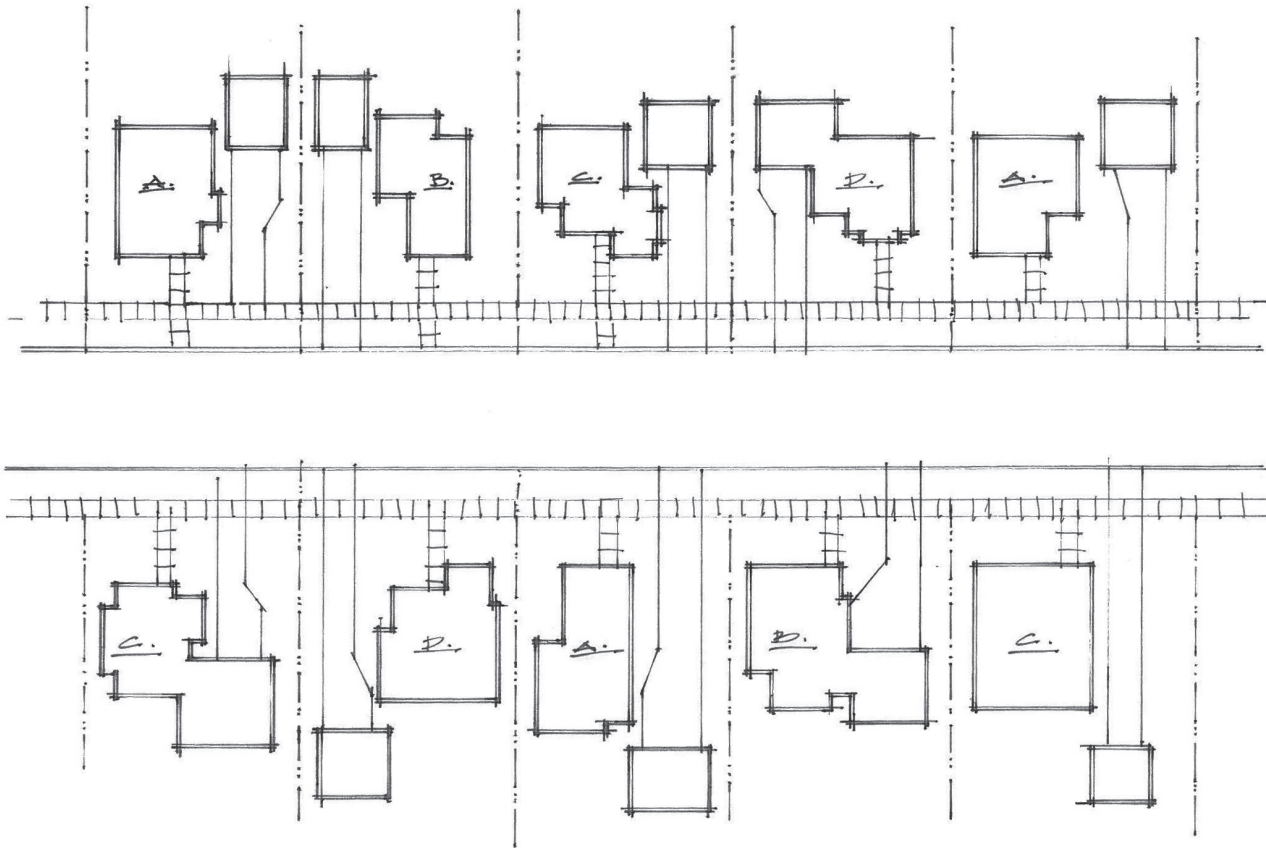
Proper balance is an equal distribution of weight or in the case of buildings, design, across an element. Homes should be designed holistically so as to create interest across all aspects of the home, not just one face of the home. There should be a focal point to a balanced design, with supporting design elements across the remainder of the design. Balance is largely attributable to building masses and their size relationships to other building masses.



Color

The homes within Manhattan Meadows are to be a variety of colors. Exterior wall colors used shall be tones which harmonize and complement the surrounding site and neighboring buildings. Trim may be more colorful and contrasting in order to add visual interest. Wall colors shall not be applied in a way that creates horizontal bands of color. Colors shall be applied to volumes of built elements. Color schemes shall be unique from the two directly adjacent properties in each direction (including across the streets) to create visual interest.

*Diagram indicates color schemes
(A,B,C,D) and required separation
between similar color schemes*



Texture and Shadows

The surrounding natural environment has a wide variety of texture resulting in visual stimulation. Home designs in Manhattan Meadows should make efforts to create variety through texture. Textures should not be overly emphasized as this can create an excess of visual stimulation and be detrimental to design. Texture can also be used to create variety with a limited color palette, utilizing shadows as a design element. Shadow should be employed to create dramatic effects of contrast. This can be in the form of deep eaves, deep window trim, and use of materials to name a few.

Materiality

Exterior materials should emphasize the high quality of homes that will be designed for Manhattan Meadows. Materials shall be complementary to one another and harmonious in nature. Application of materials should be considered artfully. Materials shall not be placed to create horizontal bands of material across the building. Acceptable wall cladding materials are natural and manufactured stone and brick, wood siding (painted or stained), cementitious siding (painted), and stucco. Metal siding will be approved on a case by case basis provided it is of high quality and should not be considered the primary exterior material. Vinyl siding and T1-11 plywood siding will not be allowed. All material transitions shall occur at an inside corner. Natural materials (i.e. stone, wood) will be required as a primary material of each home.



Design Integrity

Design Integrity refers to the positive influential impression the home leaves on a viewer. Homes that comply with the previously referenced Principles of Design will result in a home with Design Integrity.

Section 3: Architectural Design Guidelines

Intent

The intent of the following Building Guidelines is to provide for a degree of continuity throughout Manhattan Meadows while allowing personal taste in choice of housing style. Furthermore, the intent is to establish standards and theme direction to ensure that the type of housing constructed is comparable to and blends with the eclectic styles of housing found in the surrounding developments, and that the type of housing avoids the appearance of “tract housing.” Variances to these Design Guidelines may be considered by the MMAC based upon design merit. All homes shall fully comply with the International Residential Code, as well as any and all pertinent codes established by the State of Montana, Gallatin County, and the Town of Manhattan.

Manhattan Meadows is to be a neighborhood of tree lined streets, prominent front porches, and architecturally designed homes that capitalize on the breath taking views of the Gallatin Valley. The homes are to be designed to reflect the aesthetic lifestyle while providing contemporary floor plans consistent with the needs of today’s families. All homes are to be designed by a licensed architect. Exceptions may be considered based upon design merit as approved by the MMAC.

Homes are to be based upon the following design styles:

- Traditional Bungalow
- Craftsman
- Modern Farmhouse

Lots backing to Nixon Gulch Road:

To ensure an attractive appearance of the Manhattan Meadows Community as viewed by the public utilizing Nixon Gulch Road, the improvements located within those particular lots adjacent to Nixon Gulch Road shall be required to meet an elevated architectural standard, in excess of the requirements for those lots not backing onto arterial routes of travel. The MMAC shall emphasize the need for interesting architectural detailing and form, through selection and variation of materials facing the rear elevations of such houses. The roofs of residences located on such Lots must include sufficient interest and variation through the use of secondary roof forms facing the rear, in the form of dormers, interrupted roof ridge lines, exposed rafter tails, and other variations of traditional vernacular roof systems.

Buildings

Density

- No more than one (1) single-family residence may be built on each single-family lot (10,000 sf or less).
- Accessory Dwelling Units are allowed on designated lots upon approval by the MMAC and approval of a conditional use permit by the Town of Manhattan. Lots allowed are designated by the MMAC up to 10% of the lots in the subdivision (See Appendix J).
- No more than 1 duplex unit per block may be built on lots over 12,000 sf. These lots are designated

by the MMAC up to one corner lot per block. (See Appendix J)

Allowable uses

All lots shall be used exclusively for residential purposes. Accessory residential uses are as allowed by Town of Manhattan Zoning Regulations. Lots under 12000 sf shall not have more than one family (as defined by the Town of Manhattan Zoning Code) occupy such residences, provided however that nothing in this subparagraph shall be deemed to prevent any person from pursuing his or her calling upon the lot or dwelling unit owned by or occupied by such person, if such person primarily uses such lot or dwelling unit for residential purposes, is self-employed and has no employees working on such lot or in such dwelling unit, and does not advertise any product, work for sale, or service provided to the public upon such lot or dwelling unit. The leasing of any lot from time to time by the Owner thereof is subject to all of the restrictions as may be adopted from time to time by the Association.

Home occupations or professions shall be allowed on lots in Manhattan Meadows provided that they adhere to the requirements of the Town of Manhattan Zoning Code. No advertising or directional signs relating to a home occupation or profession shall be allowed within the private, public, or commonly held lands within Manhattan Meadows. Any such home occupation or profession may require a Town of Manhattan Home occupation license or business license.

No manufactured homes, mobile homes, trailer homes (including double wide mobile homes), or modular homes, or like, or similar dwellings shall be permitted.

Accessory Dwelling Units (ADU's)

Accessory Dwelling Units are permitted by the Town of Manhattan R1 Zoning Code with the approval of a conditional use permit. There is a list of criteria in the Town of Manhattan R1 Zoning Code required for approval. (See Appendix J).

Modular Homes

Modular Homes may be allowed upon approval by the MMAC. Modular Homes are permitted by the Town of Manhattan R1 Zoning Code with the approval of a conditional use permit. There is a list of criteria in the Town of Manhattan R1 Zoning Code required for approval.

Setbacks

Each lot in Manhattan Meadows shall have a buildable area determined by building or structure setbacks as stipulated by the Town of Manhattan Zoning Code. If a utility easement is greater than the building setback required by Zoning Code, said easement shall apply.

- Front Yard: There shall be a front yard having a depth of not less than twenty five feet (25'). Corner lots shall have a minimum setback of twenty five feet (25') on the frontage with the narrowest width and fifteen feet (15') on the frontage with the longest width. Lots abutting on cul-de-sacs shall have a front yard of not less than twenty five feet (25') to the closest point of the structure.
- Rear Yard: There shall be a rear yard having a depth of not less than twenty feet (20'). Rear yards

having a depth of not less than ten feet (10') may be approved by the town council if the lot has no alley.

- Side Yard: There shall be a side yard having a depth of not less than eight feet (8').

(Ord. 253, 12-1-1998)

Every part of a required yard shall be open to the sky, unobstructed by any part of any structure with the exception of the following:

- Projections: Projection of sills, belt courses, cornices and ornamental features which do not project more than twelve inches (12") from the principal building.
- Unenclosed Porch; Uncovered Steps: Open unenclosed porch or uncovered steps may project into the front yard for a distance not to exceed ten feet (10').
- Terraces, Uncovered Porches, Platforms, Ornamental Features: Terraces, uncovered porches, platforms and ornamental features which do not extend more than three feet (3') above the floor level of the ground story may project into a required rear yard provided these projections be at least five feet (5') from the property line.
- Allowed In All Yards: Driveways, parking spaces, sidewalks, uncovered patios and terraces of noncombustible materials and ornamental objects are allowed in all yards.

Height Limits

BUILDING HEIGHT: The vertical distance from the average elevation of the proposed finished grade at the front of a building to the highest point of a flat roof, the deck line of a mansard roof, and the mean height between the highest eaves and ridge for gable, hip and gambrel roofs.

No building shall exceed twenty four feet (24') in height or more than two (2) stories in height, except for one or more of the following uses or exceptions: chimneys, fire towers, tanks, water towers, spires, church steeples, radio and television towers or necessary mechanical appurtenances may be erected to exceed the maximum height limitations if approved by the board of adjustment. (Ord. 253, 12-1-1998)

Minimum Dwelling Sizes

Each single-family unit shall have a minimum of one thousand two hundred (1,200) square feet of floor area. The footprint, exclusive of the garage, for a single-family unit shall not be less than nine hundred (900) square feet of floor area. Each multi-family living unit shall have a minimum floor area of nine hundred (900) square feet. The footprint, exclusive of the garage, for each multi-family unit shall not be less than six hundred (600) square feet of floor area. (Ord. 253, 12-1-1998)

Geotechnical Report

Lot Owner is encouraged to solicit a professional engineering evaluation of geotechnical and groundwater conditions on their specific lot, prior to foundation design.

Roofs

Roofs are a major element in the building design and therefore will be emphasized by the MMAC.

Shape and Form: Traditional gable, hip and shed roof designs used in creative and aesthetically pleasing combinations are encouraged. Secondary roof forms are highly recommended in designs for Manhattan Meadows. They can be particularly effective when special care is given to their massing and pattern.

In addition, no roof ridge line shall extend more than forty (40) feet without interruption by an intersecting roof line, secondary roof structure, or step down roof in order to break up the overall roof mass. Unbroken ridge requirement exceptions will be granted upon evaluation by the Architectural Review Committee based solely upon design merit. All deviations of this requirement shall be presented to the MMAC for evaluation as a preliminary design review submission.

Roof Articulation Measurement Criteria

Pitches

Roof pitches shall be chosen to accentuate the individuality of the building design. Careful consideration should be given to the climate and detailing of low slope and flat roof elements if they are to be implemented in the design.

Secondary Roof Structures

Dormers, skylights and chimneys are considered secondary roof structures. Dormers and most other secondary roof structures are encouraged, both to add interest and scale to major roof areas and to make habitable use of the space beneath the roofs. Dormers and other secondary roofs may have gable, hip or shed forms and may be stacked in multiple forms.

Eaves, Soffits, and Fascias

Eaves may have a horizontal or angled return to the wall. Soffits shall be required to cover all rafter tails and rough framing material, except where framing members are intentionally exposed, finished, and protected from exposure. All roof edges shall have a built-up (2) piece fascia (minimum 5-1/2":3-1/2" ratio for built-up fascia)

Skylights

When designing the location of skylights, consideration should be given to both the interior and exterior appearance of the unit. Locations should also be coordinated with window and door locations. Skylights shall be located away from the valleys, ridges, and other areas where drifting snow and ice may hinder the performance and safety of the unit.

Solar Collectors

Solar collectors shall only be allowed as conditionally approved by the MMAC. If allowed, solar collectors shall be integrated into the overall roof design, and shall be placed parallel with the slope of the roof or wall of the building, located so as to minimize their appearance from public right of ways.

Roofing Materials

Roofing materials shall enhance the building and need to be compatible with the single-family residential neighborhood characteristic of Manhattan Meadows. The recommended roofing materials are natural cedar shakes, cedar shingles, metal roofing, fiberglass, and asphalt composition shingles in an “architectural” grade. Other materials may also be considered with written approval of the MMAC. 3-tab asphalt shingles and exposed fastener delta rib metal roofing will not be permitted.

Gutters, Downspouts and Flashings

Gutters and down spouts must be of a color and finish that blends with the finish colors of the structure. Exposed galvanized material will not be allowed unless pre-painted. Painted elements shall have factory applied coatings only. Flashing materials shall be copper, painted sheet metal, or anodized sheet metal.

Roof Mounted Equipment and Ventilating Roof Penetrations

All roof-mounted equipment shall be integrated in to the overall roof design and screened. All sewer, bathroom, clothes dryer, how water heater, wood or gas stove, or other roof venting stacks shall exhaust to the exterior of the building, and not into the attic, crawl space or basement. The visibility of all such venting stacks from the street front shall be minimized, and all such stacks shall be painted a color as similar as possible to the roof material color. Exterior antenna and/or satellite receivers shall not be located where visible from the street and should be screened subject to approval by the MMAC.



Exterior Walls

The exterior walls are one of the most important aesthetic elements in the building design and will reflect the image of the entire subdivision. Elements of specific concern are indicated in the Principles of Design portion of this document. The scale and proportion of the exterior walls must have inherent interest and diversity, and harmonize with the high quality nature of Manhattan Meadows. Log homes will not be allowed.

Foundation Walls

Exposed concrete foundation walls shall be limited to a maximum eight (8) inches from the bottom of siding to the finished grade. Exposed concrete in excess of eight (8) inches of concrete shall be covered by continuous year round shrubbery, masonry veneer, textured concrete surfaces, or rigid metal that will not oil-can and will stand the test of time.

Materials

Acceptable wall cladding materials are natural and manufactured stone and brick (as approved by the MMAC), cementitious siding, natural wood siding which is painted or stained, metal siding and stucco. Vinyl, aluminum and plywood siding such as T1-11 will not be allowed. Stone/masonry veneer shall terminate on an interior corner and shall not be applied to only one façade of the building. The MMAC will consider other building materials on a case-by-case basis pending their conformance the overall character of the development. All materials will be required to be submitted to the MMAC for review. Natural materials (i.e. stone, wood) will be required as a primary material of each home.

Massing/Wall Form

Single Family Residence Intent: No wall shall consist of a single finish treatment for more than fourteen (14) horizontal feet without interruption by a wall projection or a different siding material, widow, wall corner, chimney, wall recess, porch or other architectural form that adds interest.

Multi Family Residence: Townhome articulation intervals shall achieve an appropriate perceived scale and visual interest relative to the facade as approved by the MMAC.

Windows and Doors

Windows and doors are an important architectural element and therefore significant numbers are highly encouraged. All glazing in windows and doors shall be of double or triple glazing. No mirror or colored glazing shall be allowed. All windows and doors shall be vinyl, aluminum clad, finished wood or other material acceptable to the MMAC. Unclad custom-built windows for individual applications shall be trimmed and painted to provide consistent appearance with all other windows of the home. Custom-built windows must be approved by the MMAC on a case by case basis.

The patterns, sizing, symmetry (or asymmetry) of windows and doors determines the scale and feel of a home. The MMAC will require that the following aspects be carefully addressed in the window and door design:

- Consistency of types and shapes
- Window patterns consistent with design of the structure

Decks, Balconies, Patios and Porches

Decks, balconies, patios and porches shall be designed to enhance the overall architecture of the building by creating variety and detail on exterior elevations. Decks at grade level shall be skirted to grade. Decks which are on the second story (that are not cantilevered) and high off the ground shall either be sided down to a continuous concrete grade beam and sided with the same siding as the main body of the structure, or they shall be required to have additional mass and size in the vertical support posts and a soffit treatment to the underside of the deck which is approved by the MMAC. Treated Douglas Fir, except in structural members, is not an acceptable decking material. All structural supports shall have a substantial base designed to accentuate the home.

Entries

Single Family Residence Intent: The Entry shall be the dominant feature of each home in Manhattan Meadows as viewed from the street. Particular attention and detail shall be applied to the primary entry.

Multifamily Residence Intent: Duplex dwellings shall clearly define building entries and emphasize pedestrian entrances.

Exterior Lighting

All residential lighting (non-street lighting) shall be illuminated with lights that meet the Town of Manhattan standard requirements. In addition, all outdoor residential lighting shall be free of glare and shall be fully shielded or shall be indirect lighting. No illumination shall extend beyond a property's lot line. Unshielded lights and obtrusive flood lighting is prohibited. No mercury vapor or high pressure sodium lights shall be permitted.

Fixtures should be compatible with architecture and site design. Luminaries shall not be visible from adjacent streets or properties. Locations must be approved by the Committee. For the purpose of this paragraph, the following definitions shall apply:

- Fully shielded lights: outdoor residential light fixtures shielded or constructed so that no light rays are emitted by the installed fixture at angles above the horizontal plane as certified by a photometric test expert.
- Indirect light: Direct light that has been reflected or has scattered off of other surfaces
- Glare: Light emitting from a luminary with an intensity great enough to reduce a viewer's ability to see, and in extreme cases, causing momentary blindness
- Outdoor Lighting: The nighttime illumination of an outside area or object by any man-made device located outdoors that produces light by any means.

Garages & Accessory Buildings

Each single family home is required to have a minimum of an attached or detached one (1) car garage with a sectional roll up door(s). All garages shall be subordinate to the home and as such shall not be the dominant feature of any home.

Conventional Lots with Front-Loaded Garages require de-emphasis and subdued garage door locations from the primary street frontage, whether primary or secondary. Garages shall not be the dominant feature of the houses. Plans for front-loaded garages must incorporate the following:

- Courtyard configurations which orient the garage doors inwardly to the interior of the lot and in proximity to the front door. In the event that a courtyard configuration is employed, the Owner shall present, as a part of the plan to be approved by the MMAC, a landscaping plan that will include at least one coniferous tree, or other screening device as approved by the MMAC, opposite the garage door, placed in such a manner as to act as a screen so that the garage door will not be readily visible to street traffic approaching from the direction that the garage door faces. As an example, if the garage door faces the east, then the coniferous tree or screening device will be placed near the street on the east side of the driveway. All such trees must be at least 12' tall at full maturity
- Detached garages located behind the primary home are encouraged. These garages should consider a central green strip running down the driveway from the sidewalk to the garage to reduce the amount of impervious surface at each residence.
- Garage doors must be located on a plane which is set back a minimum of four (4) feet from the front plane of the house (whichever is closest to the front yard. In the case of a corner lot, it shall be from the front and/or side yard) that contains the front door for the residential portion of the house. The front plane of the house shall be at a minimum of 12' long. If the house is located on a corner lot and the garage door and the front door of the residential portion of the house face the same street, the garage shall be located on the side of the house opposite the nearest intersecting street, so that the garage is on the side of the house nearest the mid-point of the Block.
- Side access configurations which orient the garage doors outwardly to the side yard
- Corner configurations which orient the driveway and garage doors to the secondary streets. In such cases, the garage door must still be screened from view from both the primary and secondary streets, as described above.

For Lots at the intersection of two streets, houses shall have the entry walkway and porch accessed from the same street as the adjacent lot closest to the mid-point of the block. The intention is to end the block with houses that relate to the street in a similar manner as mid-block houses.

Accessory buildings will be allowed in Manhattan Meadows on a case by case basis. Design of accessory buildings is to be cohesive in style with the primary building. Accessory buildings include but are not limited to:

- Storage Buildings
- Saunas
- Personal Work Shops

Driveways

Driveways shall have a 15" CMP culvert installed by the lot Owner for drainage. See (Pg. 34 *Typical Driveway Culvert Detail*) approved MMAC detail for installation.

Enforcement

Enforcement of the Design Regulations and Guidelines shall be through the Declarant Manhattan Meadows Homeowners Association, or the MMAC.

Declarant's Right to Amend

Until 90% of the lots within Manhattan Meadows are sold, the Declarant reserves the right to amend these Design Regulations and Guidelines as the Declarant deems necessary or advisable. Such amendments shall have prospective application only, unless agreed to by the affected homeowners. Each lot owner and each holder of a mortgage or trust indenture on a unit, by acceptance of the deed or security instrument, hereby consents to all such amendments and grants unto the Declarant, as well as its successors and assigns, a limited irrevocable power of attorney, coupled with an interest, to amend this document without the need for a vote of the owners.

Manhattan Meadows - A Traditional Neighborhood
Manhattan, Montana

Section 4: Landscape Design Guidelines

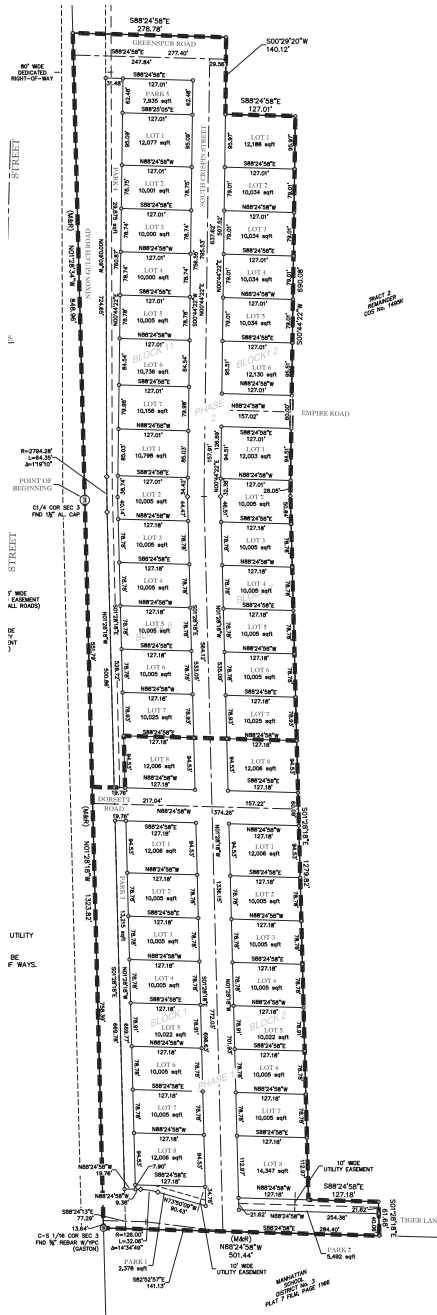
Intent

All landscape and site design shall strive to create unique and inviting environments, both within the personal character of an individual property and through the enhancement of the development as a whole.

These guidelines provide: the buffering of properties from wind and snow; the screening of parking for residences and pedestrian areas; the enhancements of entry areas for individual buildings; guidance for the conservation of water and the encouraged use of native or water-wise plant species.

General Requirements

1. All landscape designs shall be drawn and stamped preferably by a Landscape Architect Licensed by The State of Montana, or professional landscape designer with demonstrated experience.
2. Landscaping and outdoor improvements must be completed within nine (9) months of substantial completion of any or each structure.
3. Ensure proper erosion control techniques are implemented: All disturbed areas must implement erosion control techniques to ensure on-site and off-site protection. Slope stabilization is required on all slopes 3:1 and greater with Best Management Practices (BMP's) implemented as necessary.
4. Conflicts with utilities: All landscape plans shall clearly illustrate all proposed utilities and infrastructure, both in plan and legend. All landscaping and irrigation shall begin only after a thorough utility location survey is completed.
5. Landscape remodels: All landscape remodel projects are to be consistent with the Manhattan Meadows Design Regulations and Guidelines. Landscape remodels and additions must be approved by the MMAC prior to installation.
6. No lot owner shall fill or obstruct the natural flow of any borrow ditch or drainage swale with the exception of the materials placed for the location of the driveway culvert. No borrow ditches may be filled.



Site

Drive Surfaces

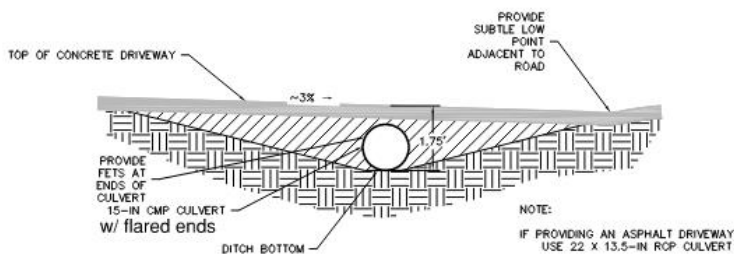
All drive surfaces are required and are to be installed by owner. Drive surfaces must be reviewed and approved by the MMAC prior to installation.

Concrete

- All concrete to have hand tooled edges and joints with a 1/4" radius and 3/4" depth.
- Concrete paving may be used for driveways, sidewalks, and curbing.

Dyed Concrete

- The use of dyed or colored concrete will be considered on a case-by-case basis as an alternative to standard concrete within its permitted uses.
- A color sample must be presented to the MMAC for review and approval prior to installation.



19 DETAIL
D-8 DRIVEWAY CROSS-SECTION AT ROADSIDE DITCH
NTS

DRIVEWAY CROSSINGS TO
BE BUILT DURING HOME
CONSTRUCTION

Sidewalks

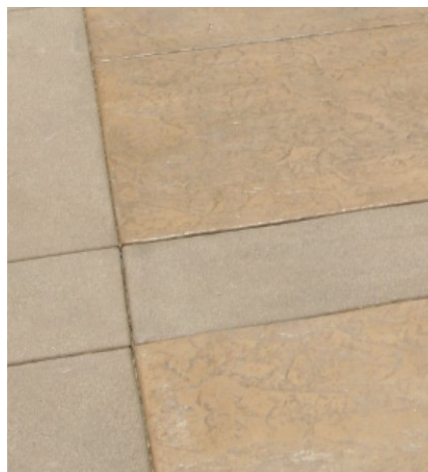
- All sidewalks to be concrete poured at a minimum depth of 4"
- All jointing and edges to be hand tooled with a 1/4" radius and 3/4" depth.
- All sidewalks shall comply with The Town of Manhattan standard and maintain a minimum width of 5 ft.

Parking

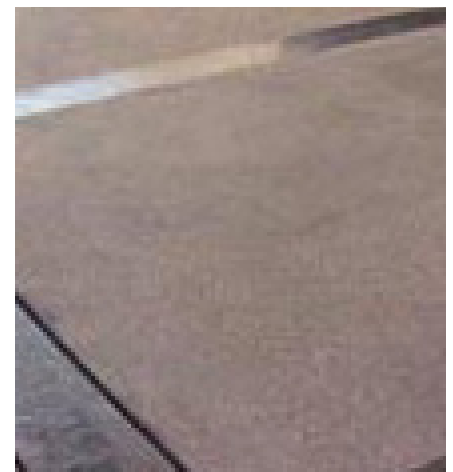
- Parking is to be limited to private driveways and individual garages. The parking of vehicles in any non-designated area including side yards, front yards, back yards, parks, and open spaces is not permitted.



Broom Finished
Concrete



Integral Dyed
Concrete



Integral Dyed
Concrete

Planting

Street and Boulevard Trees

- All street trees to be compatible with the current Town of Manhattan Approved Street Tree list and be approved by the Town Forester prior to installation (See Appendix).
- All street trees must conform to The Town of Manhattan code; 38.26.050, which states a minimum of one (1) large canopy tree per 50 ft of total street frontage, or if when the first condition is not feasible, two (2) small canopy trees per 50 ft of total street frontage may be substituted. A minimum caliper of 2” is required for all street and boulevard trees.
- All street and boulevard trees are to be selected from the Manhattan Meadows Street Tree List, any substitutions must be approved by the MMAC prior to installation.

Residential Tree Requirements

- All single family residence lots are to plant a minimum of seven (7) total trees including required street and boulevard trees, with a caliper size of 2” for four (4) trees and a caliper size of 2.5”-3” for three (3) of the trees. Block 12, 23 and 25 Townhome lots are to plant a minimum of four (4) total trees including required street and boulevard trees, with a caliper size of 2” for two (2) trees and a caliper size of 2.5”-3” for two (2) of the trees. All tree species are to be chosen from the Manhattan Meadows approved Tree List (See Appendix). Any alternate species must be submitted to the MMAC for review and approval prior to installation.
- The planting hole shall be at least twice the diameter of the root ball, the roof flare of the newly planted tree invisible and above ground, and there shall be a mulch ring 3’-4’ in diameter around each newly planted boulevard tree. Three (3) of the minimum seven (7) required trees shall be conifers, and these coniferous trees shall not be less than six (6) feet in height. On Townhome lots 12, 23 and 25 Two (2) of the minimum four (4) required trees shall be conifers, and these coniferous trees shall not be less than six (6) feet in height.

Residential Mixed Planting Beds

- Planting beds are to contain mixed shrubs and perennials, the naturalized massing of species is preferred to the sporadic planting of individual species.
- Mixed perennial and shrub planting beds shall be used in the screening of building entrances, parking areas and around building perimeter. No exposed concrete building foundation will be allowed, and must be screened through landscape plantings for the perimeter of the building.
- Perimeter mixed planting beds are required in all areas of exposed foundation. Additionally two (2) appropriately sized mixed planting beds in the front yard and one(1) mixed planting bed in the back yard are required.
- The use of native and/or water wise plantings is encouraged
- All perennials and shrubs are to be selected from the Manhattan Meadows Approved shrub and perennials list (See Appendix), any alternate species to be submitted to the MMAC for review and approval prior to installation.

Lawns

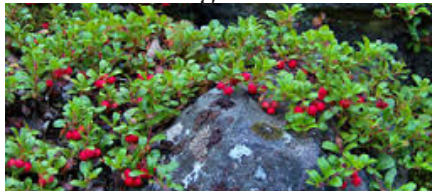
- All designated lawn areas to be established by either sod or seed, the use of drought tolerant sod mixes is encouraged. All lawn areas to be clearly indicated on landscape plans. Rock and gravel type ground covers will not be allowed as a general surface finish, but may be allowed for limited areas around, home, trees and planters.

Alleyways

- All properties with back lot line adjacent to a designated alleyway shall maintain a mixed shrub planting within the designated six(6) ft easement. The easement shall be appropriately planted with shrubs to provide screening and mulched with an aggregate.



Yarrow 'Terra Cota'



Kinickinik

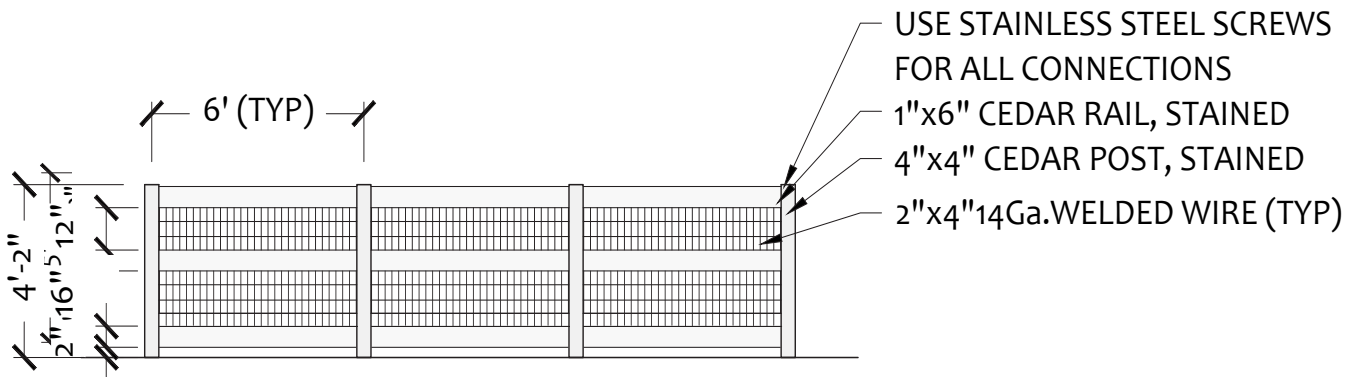


Russian Sage

Fences

To maintain uniformity in design throughout the development fence plans are to be submitted to the MMAC for approval. All fencing boards, when installed next to an existing fence, shall align with the existing fence height. Any new fencing not adjacent to existing built fence is to be consistent with the types depicted below. All fencing in Manhattan Meadows is to be stained with a consistent color stain. The MMAC recommends Mesmers UV Plus Natural Redwood to match. Stain color must be identified when submitting a fence plan to the MMAC for approval.

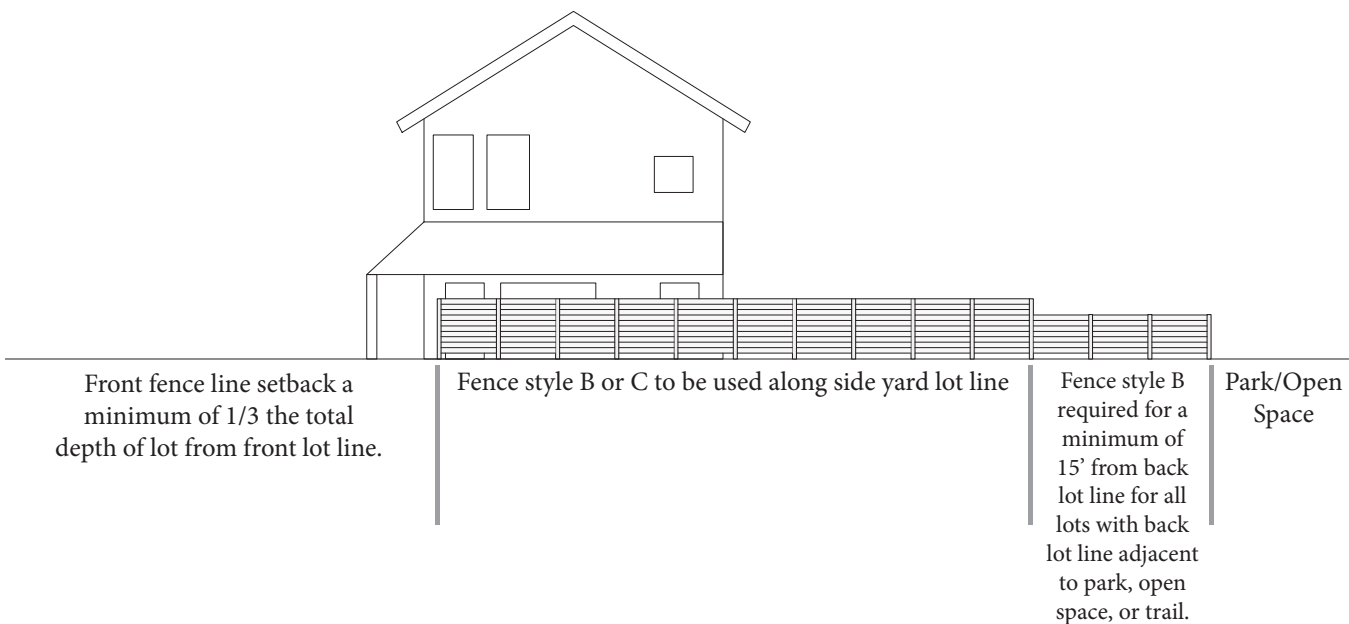
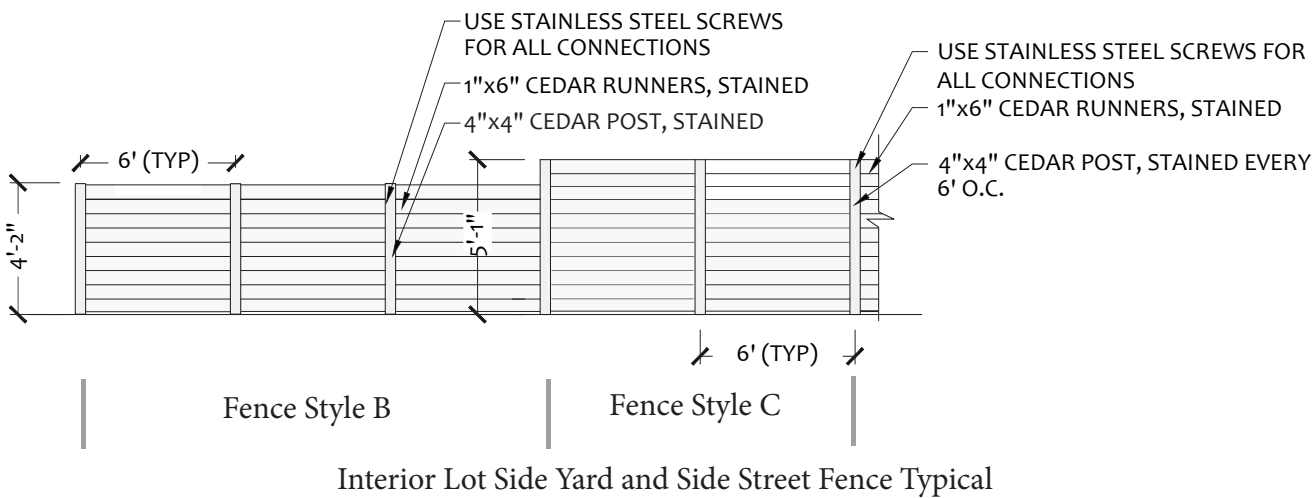
Any fencing located adjacent to Nixon Gulch Road (Blocks 1, 6, 11, 18, 19, 27 and 31) and Greenspur Road (Block 13, 14, 15, and 16) shall be required to utilize “post-and-rail fences” (Fence Style A) which may be “lined with inconspicuous wire fencing less than six feet high” .



Fence Style A: Nixon Gulch Road and Greenspur Road Street Frontage Tall Fence

- Fence Style A: height of 5 ft to be used in all designated “tall fence” areas within street frontage fence plan
- Fence Style B: height of 4’-2” to be used in all designated “low fence” areas within street frontage fence plan and along side yard lot lines.
- Fence Style C: height of 5’-1” may be used in designated “tall fence” areas along side yard lot lines, along rear lot lines, and parallel to front lot lines as depicted within the lot layout diagrams.

- All fence design shall be of the style depicted in these guidelines. Fence height, style and location shall be clearly marked on all landscape plans and coherent with lot layout diagrams.
- Fence style B may be substituted for fence style C in all allowable locations if a low fence is desired by individual property owners.
- Fence styles B and C are not permitted along lot lines with adjacency to Nixon Gulch Rd. or Greenspur Road, designated trail corridors, parks and open spaces.



Typical Interior Lot Side Yard Fence Line With Park / Open space Adjacency

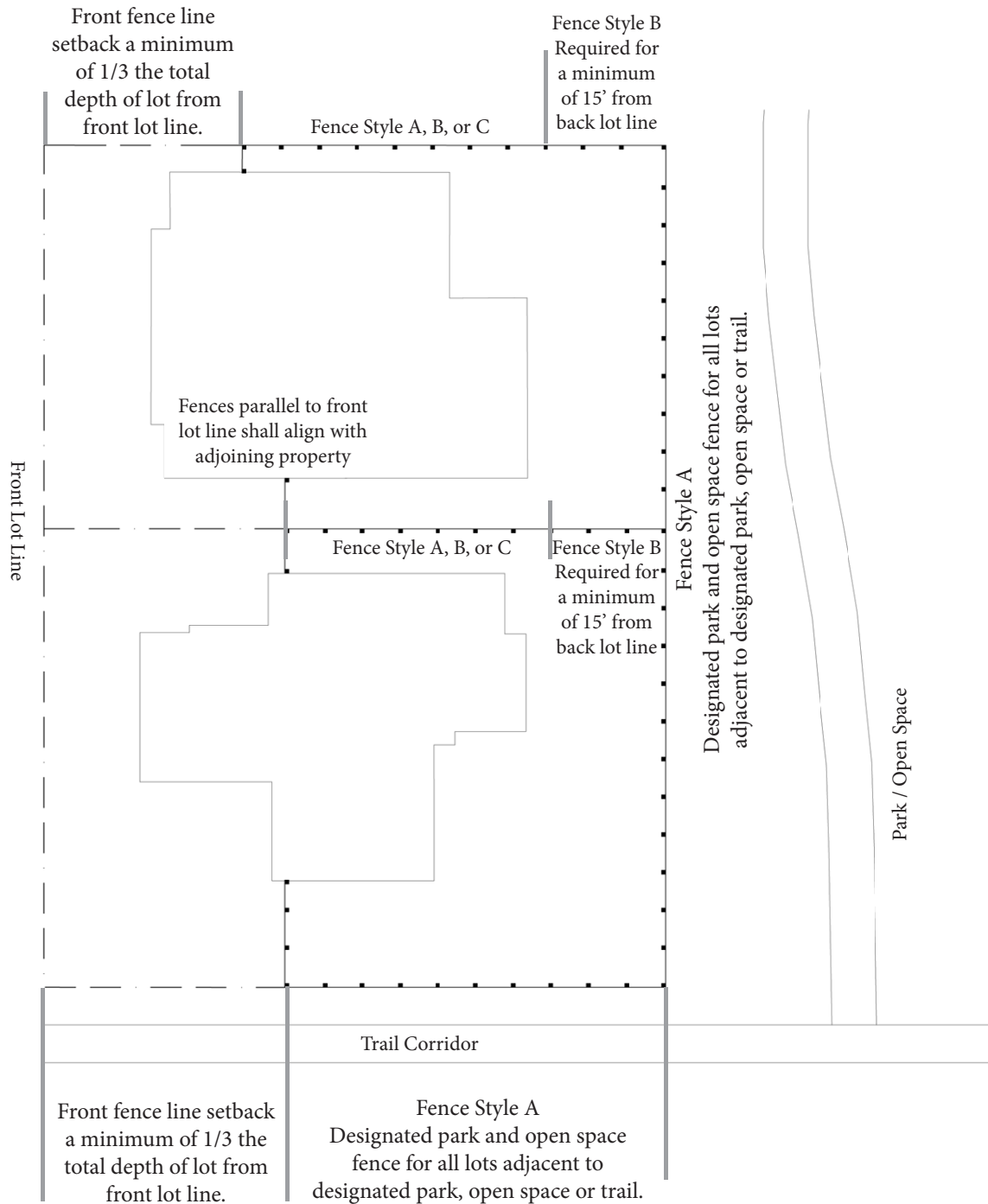
Parks, Open Space, and Trails Fence

To be used to increase privacy for lots with rear lot line and/or side yard lot lines adjacent to designated parks, open space, or trail corridors.

- Fence Style A: height of 5' to be used along rear lot line and/or side yard lot line with park, open space, or trail, adjacency.
- All fence design shall be as depicted below. Fence height, style and location shall be clearly marked on all landscape plans and be coherent with fence diagrams depicted within design guidelines.
- No alterations or alternative fence styles will be allowed without approval from MMAC prior to installation.

Lot Layout Fence Diagram A

All allowable fencing to be installed per diagrams below. Only designated fence types are to be installed within designated areas. No alterations or substitutions are allowed without approval of MMAC prior to installation.

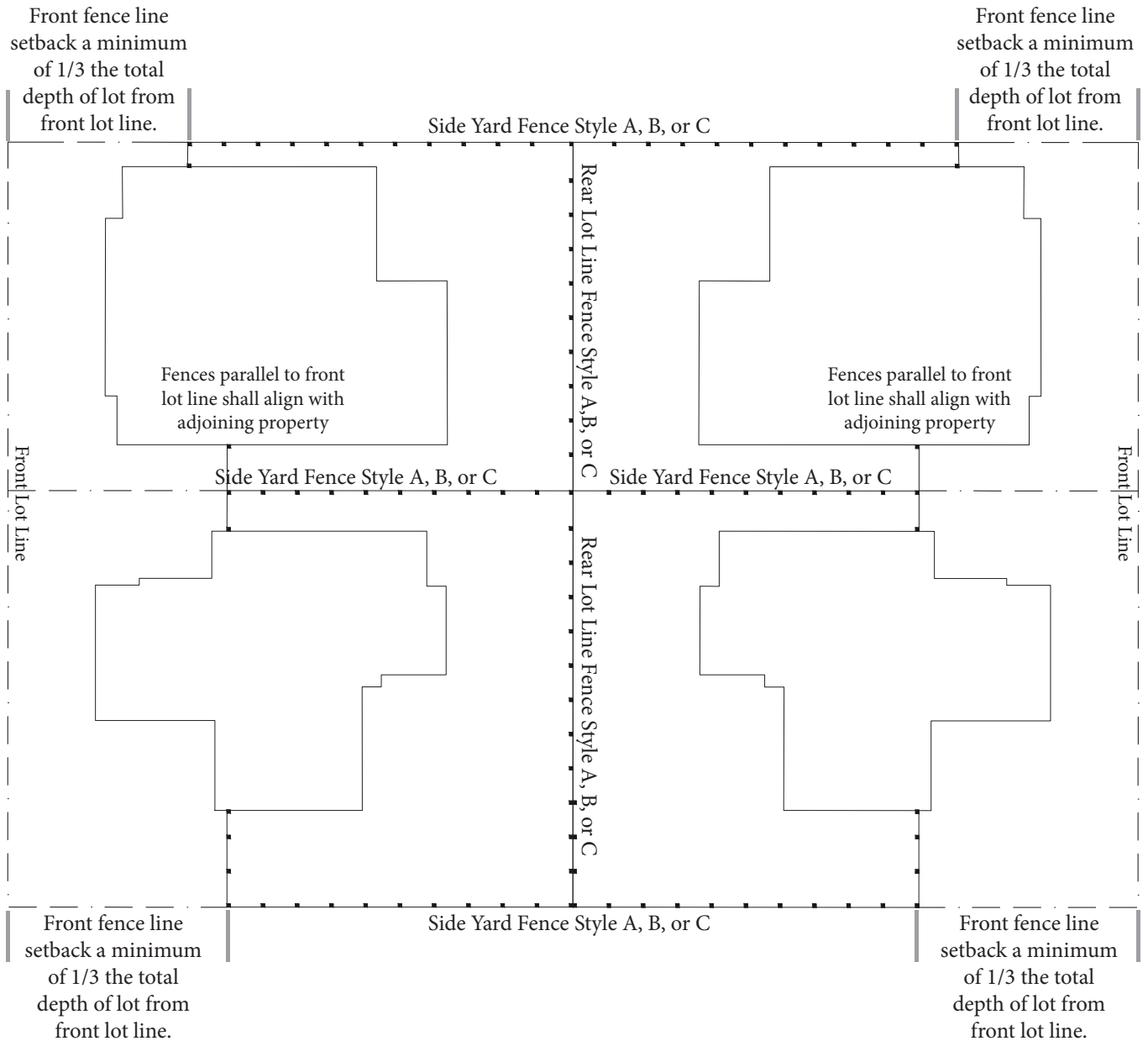


Typical Fence Layout Diagram A: Interior Lot with Trail or Open Space Adjacency

Fences Cont.

Lot Layout Fence Diagram B

All allowable fencing to be installed per diagrams below. Only designated fence types are to be installed within designated areas. No alterations or substitutions are allowed without approval of MMAC prior to installation.



Typical Fence Layout Diagram B:
Typical Interior Lot (No Open Space, Park, Trail, or Street Frontage)

Site Lighting

- All landscape and site lighting must comply with the Manhattan Meadows lighting standards.
- The use of ‘up lighting’ of any landscape or architectural feature is not permitted, all landscape and site lighting must be ‘Dark Sky’ compliant.
- All lighting must be fully shielded and free of glare, no illumination shall cross over the lot line of a property.
- No mercury vapor or High Pressure sodium lighting will be permitted.
- All landscape lighting is to be considered on a case-by-case basis and must be clearly indicated on all landscape plans and manufacturer cut sheets must be submitted to the MMAC for review prior to installation.

Dog Kennels

- Dog kennels are not permitted within the front yard of any residence.
- Kennels within the back yard of a residence are to be constructed of wood, or metal. No chain-link material is to be used for any part of the kennel structure.
- All kennel design and location must be submitted for review and approval by MMAC prior to installation.

Utility Screening

Screening and buffering shall be used to mitigate conflicts between dissimilar land uses and to visually disguise unsightly elements as viewed from both within and outside of the site boundaries. All mechanical equipment (including air conditioner condensers, power transformers, tv/phone boxes, etc.) must be screened through landscaping or architectural means.

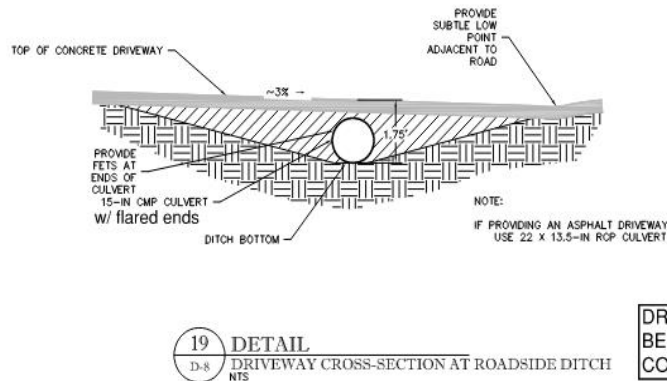
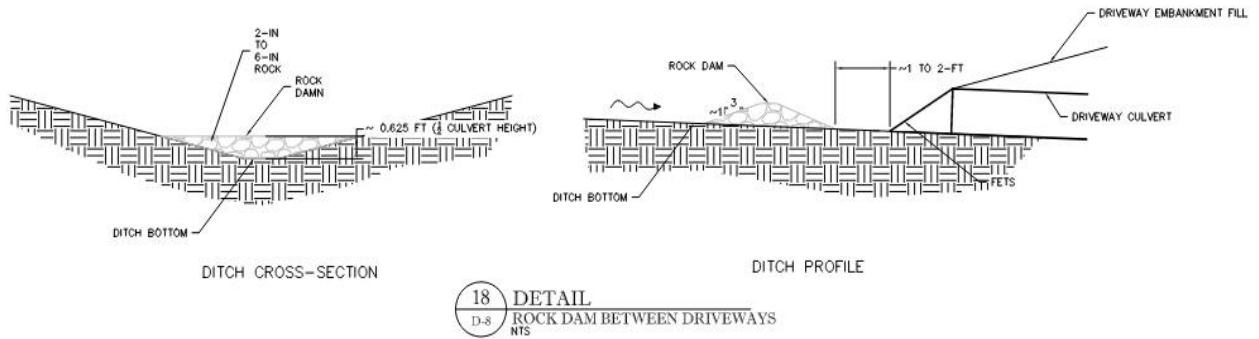
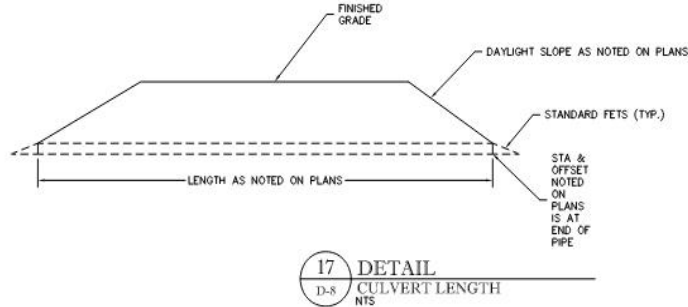
Grading and Drainage

- Positive drainage, of a minimum 2% slope away from any structure for a ten (10) foot radius must be maintained for all structures within the development.
- Finished grade is to be known and established prior to the installation of any hardscape elements such as: sidewalks, driveways, walkways, patio, and walls.
- The use of retaining walls will be considered on a case-by-case basis and must be approved by the MMAC prior to installation. A retaining structure will only be approved if it’s use is deemed necessary to achieve the desired grade in order to maintain positive drainage.
- All building foundations shall make every effort to be constructed minimum 6” above the adjacent top back of curb at road to avoid potential problems with drainage into the building from roads or adjacent lots.
- Lots may not direct their drainage onto adjacent lots at a rate more than would have existing before they constructed their house.
- All driveways and parking areas shall be surfaced with asphalt or concrete. No Lot owner shall fill or obstruct the natural flow of any borrow ditch or drainage swale with the exception of the materials placed for the location of the driveway culvert. No borrow ditches may be filled.

Drainage and Grading Cont.

Typical Driveway Culvert Detail

All driveway culverts to be installed per details below. No alterations or substitutions are allowed without approval of MMAC prior to installation.



DRIVEWAY CROSSINGS TO BE BUILT DURING HOME CONSTRUCTION

Yard Art

Yard art is not permitted in any front yard area. The use of yard art in the back yard of a residence will be considered on a case-by-case basis and must be approved by MMAC prior to installation.

Irrigation

All landscape areas including street trees, boulevard plantings, lawn and seeding areas, trees, shrubs, and flower beds shall be irrigated with a permanent automatic irrigation system installed by a qualified irrigation contractor upon initial landscape installation.

- An ‘as-built’ irrigation plan is required upon completion of installation, and must be submitted to the MMAC, the plan shall clearly indicate the location of all irrigation components including; all irrigation lines, valves, wiring, and sleeves.
- All lawn and seeding areas are to be irrigated with a permanent overhead watering system utilizing spray or rotor irrigation heads. Head-to-head coverage is required. All irrigation heads are to be installed at a grade so not to be damaged by maintenance equipment.
- Perennial planting areas are to be irrigated with a dedicated drip irrigation system and should be adjusted appropriately for individual plant needs throughout the season.
- Trees and shrubs are to be irrigated with a designated bubbler irrigation system, adjusted appropriately for tree species, maturity, and size. If trees and shrubs are installed within the confines of a perennial planting area with an established drip irrigation system, the incorporation of these trees and shrubs will be addressed on an individual basis and assessed by a landscape professional.

Maintenance

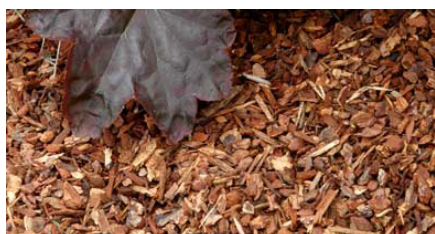
- All trees and shrubs to be maintained in a healthy state, any tree or shrub showing more than 30% desiccation shall be replaced.
- All shrub and perennial beds shall be maintained with adequate mulch or rock cover. No planting bed shall have less than 2” layer of mulch or rock. Any area of exposed weed fabric shall have additional rock or mulch placed over it.
- Use cultural methods (mulch, pruning, irrigation, etc) to encourage plant health and growth and to discourage weeds. Keep planter beds and tree wells free of weeds and debris.
- All landscaping must be maintained to the minimum standard stated in The Town of Manhattan ordinance (36.28.100)
- Mulch or gravel is to be used in all planting beds and around the base of all trees and shrubs planted within lawns and open spaces. Mulch type and depth is to be clearly indicated on all landscape plans and is subject to approval by the MMAC prior to installation.
- Driveway culvert to be maintained to allow water to flow freely, all debris etc. to be removed regularly.

Approved Mulches

Any organic mulch such as (shredded cedar, bark chips, soil pep, etc.), with natural earth tones and textures.

Natural stone aggregate with earth tones

- No lava rock will be permitted in any part of the landscape
- No artificial or bright colored aggregate will be permitted



‘Mini Nugget’
Fir Bark



Shredded Cedar
Mulch



Big Sky ‘Gold’
Cobble

Appendix: A

Manhattan Meadows CHECKLIST PRE APPLICATION AND FINAL DESIGN REVIEW SUBMITTAL CHECKLIST

Property Address: _____

Type of Review (Please circle): Pre Review or Final Review

Party submitting application: _____ Date: _____

Pre- Application Requirements

1. Administrative Requirements
 - Receipt of Manhattan Meadows Design Regulations and Guidelines
 - Pre Application Design Review Submittal Checklist completed and signed
 - Pre Application Plan Review Fee - Made payable to Manhattan Meadows HOA
 - (2) sets of full size application drawings (site plan, floor plan, building elevations)
2. Site Plan Requirements
 - Property Legal Description
 - Scale and North arrow – Scale to be 1/8"=1'-0" or similar engineering scale
 - Setbacks clearly identified
 - Lot identification clearly indicated
 - Easements clearly identified
 - Road names clearly labeled
 - Drive surfaces clearly identified
 - Surface drainage patterns clearly identified
 - Site section illustrating existing grading and proposed grading with building location(s) indicated
3. Plan Requirements
 - Scale and North arrow – Scale to be 1/4"=1'-0" or similar
 - Building square footage per level, per structure and total square footage identified
 - Required setbacks for garage doors identified
 - Location of exterior patios, drives, walkways identified
4. Exterior Building Design Requirements
 - Allowable and actual building heights clearly identified
 - Existing and proposed grade line shown
 - Building elevations (all sides shown) – scale to be 1/4"=1'-0" or similar
 - Exterior building materials identified

Final Design Review Submittal Checklist

1. All information required in Pre-Application Requirements
2. Administrative Requirements
 - Design Review Submittal Checklist completed and signed
 - Plan Review Fee - Made payable to MO-MT, LLC
 - (2) sets of full size stamped construction drawings
 - Digital copy of submittal in pdf format
 - Written responses to any and all Pre-Application Comments
3. Site Plan Requirements
 - Property Legal Description
 - Scale and North arrow – Scale to be 1/8"=1'-0" or similar engineering scale
 - Setbacks clearly identified
 - Lot identification clearly indicated
 - Easements clearly identified
 - Road names clearly labeled
 - Drive and hardscape surfaces clearly identified
 - Site plantings list and location on the site plan. Include vegetative and mineral (boulder) locations
 - Location of utility meters and utility service lines
 - Surface drainage patterns clearly identified
 - Site section illustrating existing grading and proposed grading with building location(s) indicated
4. Plan Requirements
 - Scale and North arrow – Scale to be 1/4"=1'-0" or similar
 - Building square footage per level, per structure and total square footage identified
 - Required setbacks for garage doors identified
 - Location of exterior patios, drives, walkways identified
 - Roof plan w/ materials indicated – Scale to be 1/4"=1'-0" or similar
5. Exterior Building Design Requirements
 - Allowable and actual building heights clearly identified
 - Existing and proposed grade line shown
 - All building materials and colors clearly labeled and identified
 - Exterior lighting fixtures and associated cut sheets identified
 - Building elevations (all sides shown) – Scale to be 1/4"=1'-0" or similar
6. Additional Information
 - Physical material samples for all exterior building materials (photographic representation may be accepted pending Design Review decision)
 - Color renderings of all building elevations

All incomplete submittals will be returned without comment resulting in additional plan review fees.

I, _____, ascertain that all information has been filled out and submitted per Manhattan Meadows Design Regulations and Guidelines.

Signed _____

Date _____

Appendix: B

Perennial Planting List

<i>Achillea</i> hybrid	Yarrow	'Moonshine', 'Paprika', 'Terra Cotta'
<i>Amemone Patens</i>	Pasque Flower	
<i>Antennaria microphylla</i>	Pussytoes, Rosy	
<i>Alchemilla mollis</i>	Lady Mantle	
<i>Ajuga</i>	Bugleweed	
<i>Aster dumosus</i>	Woods Aster	
Aster Hybrids	Fall Aster	'Professor Kippenburg' 'Tiny Theo'
<i>Brunneria macrophylla</i>	Brunneria	'Jack Frost'
<i>Creastrium tomentosum</i>	Snow in Summer	
<i>Clematis hirsutissima</i>	Clematis	
<i>Echinacea purpurea</i>	Coneflower	Var.
<i>Galium odoratum</i>	Sweet Woodruff	
<i>Geranium cantabrigiense</i>	Geranium	Var.
Geranium Hybrids	Geranium	
<i>Heliopsis helianthoides</i>	Sun flower	
<i>Hemerocallis</i> sp.	Daylily	var.
<i>Heuchera</i>	Corqal Bells	Var.
<i>Iris</i> sp.	Iris	Var.
<i>Lamium maculatum</i>	Lamium	
<i>Nepeta faassenii</i>	Catmint	
<i>Origanum</i> hybrid	Oregano Ornamental	
<i>Penstemon</i> var.	Penstemon	
<i>Perkobskia atriplicifolia</i>	Russian Sage	
<i>Rudbeckia fulgida</i>	Black Eyed Susan	
<i>Salvia nemerosa</i>	Salvia	
<i>Scabiosa caucasica</i>	Pin Cushion Flower	
<i>Saponaria</i> var.	Soapwort	
<i>Sedum</i> var.	Sedum	
<i>Solidago canadensis</i>	Goldenrod	'Golden Baby' 'Baby Gold'
<i>Stachys monieri</i>	Betony 'Hummelo'	
<i>Thymus</i> var.	Thyme Creeping	
<i>Veronica spicata</i>	Veronica, Speedwell	

Appendix: C

Ornamental Grasses Planting List

*Montana Native

Calamagrostis x acutiflora	Feather Reedgrass	'Karl Foester', 'Avalanche', 'El Durato',
Festuca glauca	Fescus, Blue	
Helictotrichon sempervirens	Blue Oat Grass	
Miscanthus sinensis	Maiden Grass	'Gracillimus'
Molina caerulea subsp arundinacea	Moor Grass Tall Purple	'Skyracer', 'Transparent'
Panicum virgatum*	Switchgrass	'Cheyenne Sky', 'Northwind', 'Shenandoah'
Schizachyrum scoparium*	Little Bluestem	'Blaze', 'The Blues'
Sporobolus heterolepsis*	Prairie Dropseed	

Appendix: D

Evergreen Shrubs Planting List

Evergreen Shrubs

Juniperus chinensis	Juniper, Chinese	'Mint Julep'
Juniperus communis	Juniper Common	'Alpine Carpet', 'Blueberry Delight'
Juniperus horizontalis	Juniper, Horizontal	'Blue Chip', 'Hughes', 'Prince of Wales', 'Blue Rug'
Juniperus sabina	Juniper Savin	'Broadmoor', 'Buffalo', 'Calgary Carpet'
Juniperus scopulorum	Juniper Rocky Mountain	'Cologreen', 'Medora', 'Wichita Blue'
Picea abies	Spruce, Dwarf	'Little Gem', 'Birds Nest'
Picea pungens 'Globosa'	Spruce, Dwarf Blue Globe	
Pinus mugo	Pine, Mugo	'Tannenbaum', 'Valley Cushion', 'Slowmound'
Pinus sylvestris	Pine, Scotch 'Hillside Creeper'	
Taxus x media	Yew, Spreading 'Taunton'	

Appendix: E

Deciduous Shrubs Planting List

<i>Acer ginnala</i>	Maple, Amur 'Emerald Elf'	
<i>Alnus tenuifolia</i>	Thinleaf Alder	
<i>Archtostryphos uva-ursi</i> *	Kinnickinnik	
<i>Amelanchier alnifolia</i> *	Serviceberry	
<i>Aronia melanocarpa</i> var. <i>alata</i>	Chokeberry, Glossy Black	'Iroquois Beauty'
<i>Artemisa cana</i> *	Silver sage	
<i>Artemisa tridentata</i> *	Big Sagebrush	
<i>Berberis repens</i> *	Oregon Grape	
<i>Berberis thunbergii</i> '	Barberry	'Golden, Emerald', 'Burgundy' and 'Jade Carousel', 'Concorde', 'Crimson Pygmy', 'Cabernet'
<i>Caragana</i> var.	Peashrub	
<i>Chyrosathamnus nauseosus</i> *	Rabbitbrush	
<i>Cornus</i> var.	Dogwood var.	
<i>Salix</i> var.	Willow var.	
<i>Cotoneaster apiculatus</i>	Cotoneaster Cranberry	
<i>Cotoneaster lucidus</i>	Cotoneaster Peking	
<i>Diervilla lonicera</i>	Honeysuckle, Dwarf Bush	
<i>Elaeagnus commutata</i> *	Silverberry	
<i>Euonymus alatus</i>	Burning Bush, Dwarf	
<i>Euonymus alatus</i>	Burning Bush	
<i>Forsythia hybrid</i>	Forsythia	'Meadowlark',
<i>Hydrangea arborescens</i>	Hydrangea 'Annabelle'	
<i>Hydrangea paniculata</i>	Hydrangea 'Tardiva'	
<i>Lonicera involucrata</i> *	Honeysuckle, Twinberry	
<i>Lonicera hybrid</i>	Honeysuckle, 'Honeyrose'	
<i>Philadelphus lewisii</i>	Mockorange	
<i>Physocarpus opulifolius</i>	Ninebark	
<i>Potentilla fruticosa</i>	Potentilla	
<i>Prunus besseyi</i>	Sandcherry var.	
<i>Prunus tomentosa</i>	Nanking Cherry	
<i>Ribes</i> var.	var.	
<i>Rhus</i> var.	Sumac var.	
<i>Rosa</i> Hybrids	Rose Shrub	
<i>Spiraea</i> var.	Spirea	
<i>Syringa</i> var	Lilac var & Hybrids	
<i>Viburnum</i> var.	Viburnum var.	

Appendix: F

Deciduous Tree Planting List

<i>Acer ginnala</i>	Maple, Amur	'Flame', 'Embers'
<i>Acer freemanii</i>	Maple, Hybrid	'Sienna Glen'
<i>Acer negundo</i>	Maple, Boxelder	'Sensation'
<i>Acer plantanoides</i>	Maple, Norway	'Emerald Lustre', 'Royal Red', 'Helena'
<i>Acer rubrum</i>	Maple Red	'Autumn Spire', 'Scarlet Jewel'
<i>Acer saccharum</i>	Maple Sugar	'Green Mountain'
<i>Acer tataricum</i>	Maple, Tatarian	'Hot Wings'
<i>Aesculus glabra</i>	Ohio Buckeye	
<i>Alnus hirsuta</i> 'Harbin'	Alder, Manchurian	'Prairie Horizon'
<i>Amelanchier grandiflora</i>	Serviceberry	'Autumn Brilliance'
<i>Betula papyifera</i>	Birch, Paper	
<i>Betula platyphylla</i>	Birch, Asian White	'Dakota Pinnacle'
<i>Caragana arborescens</i> 'Pendula'	Caragana, Weeping	
<i>Celtis occidentalis</i>	Hackberry	
<i>Crataegus amibigua</i>	Hawthorn, Russian	
<i>Crataegus crus-galli</i> var <i>inermis</i>	Hawthorn, Thornless Cockspur	
<i>Crataegus laevigata</i> 'Superba'	Hawthorn	'Crimson Cloud'
<i>Crataegus x mordenensis</i>	Hawthorn	'Snowbird', 'Toba'
<i>Euonymus bungeana</i>	Winterberry	'Prairie Radiance'
<i>Gleditsia triacanthos</i> var <i>inermis</i>	Honeylocust	'Northern Acclaim', 'Skyline', 'Imperial'
<i>Maackia amurensis</i>	Maackia, Amur	
<i>Malus</i> sp	Crab, Flowering	Varieties with small, persistent fruit and fireblight resistant
<i>Prunus maackii</i>	Chokecherry, Amur	
<i>Prunus padus</i> var <i>commutata</i>	Mayday Tree, Birdcherry	
<i>Prunus ussuriensis</i>	Pear, Ussarian	'Mountain Frost', 'Prairie Gem'
<i>Prunus virginiana</i>	Red Chokecherry	'Canada Red'
<i>Quercus macrocarpa</i>	Oak Bur	
<i>Sorbus alnifolia</i>	Mountain Ash, Korean	
<i>Sorbus decora</i>	Mountain Ash, Showy	
<i>Sorbus hybrida</i>	Mountain Ash, Oakleaf	
<i>Syringa pekinensis</i> 'SunDak'	Lilac, Peking	'Copper Curls'
<i>Syringa reticulata</i>	Lilac, Japanese Tree	'Ivory Silk', 'Snowdance'
<i>Tilia americana</i>	Linden, American	'Boulevard', 'Lincoln', 'Redmond'
<i>Tilia cordata</i>	Linden, Little Leaf	'Greenspire'
<i>Tilia hybrid</i>	Linden, Hybrid	'Dropmore'
<i>Ulmus americana</i>	Elm, American	'Brandon'
<i>Ulmus davidiana</i> var <i>japonica</i>	Elm, American	'Discovery'

Appendix: G

Evergreen Tree Planting List

Evergreen Trees

Juniperus scopulorum	Rocky Mountain Juniper
Picea abies	Norway Spruce
Picea engelmannii	Engelman Spruce
Picea glaca var densata	Blackhills Spruce
Picea pungens	Colorado Spruce
Pinus aristata	Bristlecone Pine
Pinus nigra	Austrian Pine
Pinus ponderosa	Ponderosa Pine

Appendix: H

Street Tree Planting List

All plantings are to be verified with Town of Manhattan Design Review Authorities and shall comply with TOM noxious weed standards.

Trees Street

Acer ginnala	Amur Maple	var.
Acer plantanoides	Maple, Norway	Emerald Lustre', 'Royal Red'
Acer rubrum	Maple Red	'Autumn Spire', Scarlet Jewel', 'Helena',
Acer tataricum	Tatarian Maple	'Hot Wings'
Celtis occidentalis	Hackberry	
Gleditsia triacanthos	Honeylocust	'Northern Acclaim', 'Skyline', 'Imperial'
Quercus macrocarpa	Oak Bur	
Tilia americana	Linden, American	'Boulevard', 'Lincoln', 'Redmond'
Tilia hybrid	Linden, Hybrid	'Dropmore'
Tilia cordata	Linden, Little Leaf	'Greenspire'
Ulmus americana	Elm, American	'Brandon'
Ulmus davidiana var japonica	Elm, American	'Discovery'

Appendix: I

Manhattan Meadows FENCE SUBMITTAL CHECKLIST

Property Address: _____

Party submitting application: _____ Date: _____

Use this checklist to ensure all the proper documentation has been submitted, which allows for MMAC to provide a faster approval process. Fence requirements can be found on pages 28-33 of this document.

Site plan

Property Block and Lot designation

Dimensioned property lines, house location, and proposed fence location. Fence must be dimensioned to show compliance with design guidelines

Which directly adjacent properties (if any) have already constructed fences

If adjacent properties have installed fences, confirm that new fences will match existing fence height

Indicate which fence style will be used for all fences

Confirm the stain will be Mesmers UV Plus Natural Redwood

Location of all gates into and out of fenced area

Location of man door into garage if applicable

Appendix: J

SITE PLAN: Duplex and ADU allowed locations

